City of Cranston Zoning Board of Review Application

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

1	Cranston Zoning Board of Review 35 Sockanosset Crossroad Suite 6 Cranston, RI 02920	Date: November 22, 202
L :	THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIE THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONII FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROU	VG ORDINANCE AFFECTING THE
O.	OWNER: Imperial Apartments LLC	*
	ADDRESS: 1704 Broad Street, Cranston, RI	
	APPLICANT: Imperial Apartments LLC	
	ADDRESS: 1704 Broad Street, Cranston, RI	
	LESSEE:	
	ADDRESS:	
1.	. ADDRESS OF PROPERTY: 11 Dart Street	
	ASSESSOR'S PLAT #: 12/2 BLOCK #: ASSESSOR'	1/01 1/05
3.	. LOT FRONTAGE:LOT DEPTH:LOT	AREA: 28,590 sq. ft.
4.	ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A-8 (ZONE) (ARI	000 sq. ft. 35' EA LIMITATION) (HEIGHT LIMITATION)
5.	BUILDING HEIGHT, PRESENT: 2 stories PROPOSED:	same
	LOT COVERAGE, PRESENT: 21% PROPOSED:	
7.	HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 12/28/23	
3,	ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? Yes	
).	GIVE SIZE OF EXISTING BUILDING(S): 138' x 82' irregular	shape
0.). GIVE SIZE OF PROPOSED BUILDING(S): _same	
1.	. WHAT IS THE PRESENT USE? 13 unit multi-family apar	tments
	. WHAT IS THE PROPOSED USE? 15 unit multi-family apar	
3.	. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED:	15

14.	. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: Add two new apartments	
ı	on lower level. Thirteen apartments exist today. Tax records show	:
	twelve units. Total of fifteen apartments.	
15.	. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? <u>No</u>	
16,	. WERE YOU REFUSED A PERMIT? No	
17.	PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.	
	17.20.030 (Schedule of Uses); 17.20.090 Specific requirements;	
	17.92.010 (Variances) and all other applicable sections of the zoni	ng code
18.	STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: Extension of legal non-	
	conforming use will add additional housing stock for single	·
	family use.	
SIG	GNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND <u>MUST BE LEGIBLE</u>	•
Tmn	RESPECTFULLY SUBMITTED, Derial Apartments LLC	
By	580-1500	
(OV	WNER SIGNATURE) (PHONE NUMBER)	
WO) qmI	VNER SIGNATURE) (PHONE NUMBER) Derial Apartments LLC	<u>.</u>
By	580-1500	
(AP.	PLICANT SIGNATURE) (PHONE NUMBER)	
(LES	SSEE SIGNATURE) (PHONE NUMBER)	
	946-3800	
(AT	TOKNEY SIGNATURE) (PHONE NUMBER)	
	bert D. Murray, Esq. TORNEY NAME-PLEASE PRINT)	
(TLL.	TOTALL TAMES TOTAL	
ATT	TORNEY ADDRESS: 21 Garden City Drive, Cranston, RI 02920	
PRE	E-ZONING APPLICATION MEETING: (PLANNING DEPT. SIGNATURE) (DAT	'E)

IMPERIAL APARTMENTS LLC ("OWNER/APPLICANT") 11 Dart Street Cranston, RI 02920

PROJECT NARRATIVE

This project narrative is offered in connection with the application of Imperial Apartments LLC ("Owner/Applicant") for variance relief for an existing multi-family apartment structure at 11 Dart Street.

The owner acquired the property in December, 2023. Fifteen units existed in the building at that time. Thirteen units were occupied. The tax assessor's records state an occupancy of twelve units.

The subject property is designated as Lot Nos 1491, 1495 and 3270 on Assessor's Plat No. 12/2 and is in an A-8 residential zone and contains approximately 28,590 square feet. The property is at the corner of Dart Street and Curry Road.

Records indicate that the building was constructed in 1972. The zoning petition seeks approval of the existing thirteenth unit and permission to construct two more units for a total of fifteen. If approved, the owner would then construct two (2) additional units on the lower level for a total of fifteen (15) residential apartments. No exterior renovations would be involved in the construction of the two additional units. Adequate off-street parking exists. The building is fully serviced with all utilities.

The following zoning relief is sought from the zoning board.

17.20.030 Schedule of Uses

Multi-family dwellings are not permitted in the A-8 residential zone

17, 20.090 – Specific Requirements, A, "For multi-family dwellings the minimum lot area shall be six thousand (6,000) square feet for the first dwelling, plus four thousand (4,000) square feet for each of the next nine dwelling units and three thousand five hundred (3.500) sq. ft. for each unit in excess of ten units. Lot Area = 28,590 sq. ft.

28,590 sq. ft. $(1^{st} \text{ unit}) = 22,590 \text{ sq. ft.} / 4,000 \text{ sq. ft.}$ (subsequent units) = 5+ units = 6 units allowed by formula

Minimum Lot Area for 15 Units:

6,000 sq. ft. $(1^{st} \text{ unit}) + (4,000 \text{ sq. ft. } \text{x 9 units}) + (3,500 \text{ sq. ft. } \text{x 5 units}) = 59,500 \text{ sq. ft.}$

Relief of 30,910 sq ft in area is sought.

<u>Chapter 17.92.010 – Variances and Special Use Permits</u> – B. In granting a dimensional variance, the Planning Commission shall find:

1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant.

The hardship from which the Applicant seeks relief is due to the unique characteristics of the subject land or structure and not the general characteristics of the surrounding area; nor is it due to the physical or economic disability of the applicant. The existing building already houses thirteen apartments and can easily accommodate the proposed two (2) units. The project helps address a significant need for housing throughout the City and State; while the proposed use and density will exist and will continue to complement the surrounding area.

2. That the hardship is not the result of any prior action of the applicant.

The hardship for which relief is sought is not the result of any prior action of the Applicant. The Applicant purchased the property in 2023 and has made no changes or modifications to the property since the purchase.

3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance codified in this title or the comprehensive plan upon which the ordinance is based.

The granting of the requested variance will not alter the general character of the surrounding area as both the existing use and the proposed use of the site are a multifamily development. The existing and proposed use and unit density helps address a significant need for housing throughout the City and State; multi-family use already exists.

In addition to the above standards, a determination must be made that:

1. In granting a use variance, the subject land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance.

The proposed use and unit density can be accommodated on the existing lot, including all required infrastructure including but not limited to water, sewer and stormwater management. Adequate parking is available for the apartments.













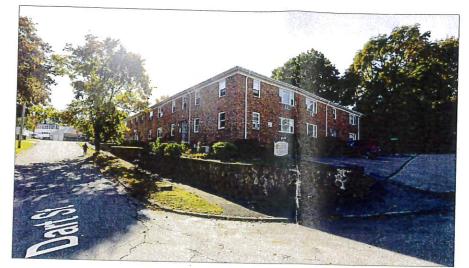


ABBREVIATIONS

8	AND	DWR	DRAWER		
L	ANGLE	DWGS		P.C	PRECAST
@	AT	EA	EACH	P&I	PROVIDE AND INSTALL
Œ	CENTERLINE	EJ		P&R	PATCH AND REPAIR
1	CHANNEL	ELEV	EXPANSION JOINT	PLAM	PLASTIC LAMINATE
0	DEGREES		ELEVATION	PLYWD	PLYWOOD
Ø	DIAMETER OR ROUND	ENCL	ENCLOSURE	PMJF	PRE MOLDED JOINT FILLER
m	EQUALS	EQ	EQUAL	PT	PRESSURE TREATED
PL	PLATE OR PROPERTY LINE	EXIST	EXISTING	PTD	PAINTED
+/-	PLUS OR MINUS	EXT	EXTERIOR	Q.T.	QUARRY TILE
#	POUND(S) OR NUMBER	E.W.C.	ELECTRIC WATER COOLER	R	RISER(S)
A/C	AIR CONDITIONING	F.C	FIRE CODE	RAD	RADIUS
ACT	ACOUSTICAL TILE	F.D.	FLOOR DRAIN	REINF	REINFORCED
AWP	ACOUSTICAL WALL PANELS	F.E.	FIRE EXTINGUISHER	REQ'D	REQUIRED
AD	AREA DRAIN	F.E.C.	FIRE EXTINGUISHER CABINE		ROUGH OPENING
AESS	ARCHITECTURALLY EXPOSED	F.O.S.	FACE OF STUD	R&D	REMOVE AND DISPOSE
AF	ACOUSTIC FINISH	F.R.P.	FIBERGLASS REINFORCED	R&SR	REMOVE AND SAVE FOR REUS
AFF	ABOVE FINISH FLOOR	223	PANEL	R&SO	REMOVE AND SAVE FOR OWN
ALT	ALTERNATE	F.R.P.T.	FIRE RETARDANT	RUB	RUBBER
ALUM	ALUMINUM		PRESSURE TREATED	SAT	SUSPENDED ACOUSTICAL TILE
AP	ACCESS PANEL	GA	GAUGE	SCHED	SCHEDULE
APPROX		GALV	GALVANIZE(D)	S.F.	SQUARE FEET
ARCH	ARCHITECTURAL	G.C.	GENERAL CONTRACTOR	SHT	SHEET
ASSY	ASSEMBLY	GL	GLASS	SIM	SIMILAR
BC	BASE CABINET	GWB	GYPSUM WALL BOARD	SQ	SQUARE
BD	BOARD	HDWR	HARDWARE	SS	STAINLESS STEEL
BR	BACKER ROD	H.M.	HOLLOW METAL	STD	STANDARD
BIT	BITUMINOUS	HORIZ	HORIZONTAL	STL	STEEL
BLDG	BUILDING	INSUL	INSULATION	STR STL	STRUCTURAL STEFI
BLK	BLOCK	INT	INTERIOR .	TEMP	TEMPORARY
BM	BEAM	JT	TAIOL	TMPR	TEMPERED
BOT	BOTTOM	LG	LONG	T.O.F.	TOP OF FOUNDATION
BTWN	BETWEEN	LGT	LIGHT	T.O.P.	TOP OF PLATE
CB		LWT	LIGHT WEIGHT	T.O.S.	TOP OF SLAB
CG	CATCH BASIN	MAG	MAGNESIUM	T&G	TONGUE AND GROOVE
CLG	CORNER GUARD	MAX	MAXIMUM	TYP	TYPICAL
CIP	CEILING	MDO	MINIMUM DENSITY OVERLAY		UNLESS OTHERWISE NOTED
CLR	CAST IN PLACE	MECH	MECHANICAL	VCT	VINYL COMPOSITE TILE
CMU	CLEAR	MIN	MINIMUM	VERT	VERTICAL
COL	CONCRETE MASONRY UNIT	MO ·	MASONRY OPENING	VWB	VINYL WALL BASE
CONC	COLUMN	MFR	MANUFACTURER	w/	WITH
CONT	CONCRETE	MTL	METAL	WC	WATER CLOSET
CT	CONTINUOUS	N.I.C.	NOT IN CONTRACT	W.R.	WATER CLOSE! WATER RESISTANT
DB	CERAMIC TILE	MOM	NOMINAL	WWF	WOVEN WIRE FABRIC
	DRAWER BASE CABINET	N.P.S.	NOMINAL PIPE SIZE	WWM	WOVEN WIRE PABRIC WOVEN WIRE MESH
DIA	DIAMETER	N.T.S.	NOT TO SCALE		MOAEIA MIKE MEZH
DN	DOWN	O.C	ON CENTER		
DR	DOOR	O.D.	OUTSIDE DIAMETER		
DS	DOWN SPOUT	O.H.	OPPOSITE HAND		
DTL	DETAIL	one.			

VILLA IMPERIALE

11 DART STREET CRANSTON, RI 02920



DRAWING LIST

A0.0 COVER

A0.2 SITE PLAN A1.1 UNIT 1 SCOPE SHEET

PROJECT DATA

PROJECT LOCATION:

PROPERTY OWNER IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON, RI 02905

PARCEL: 12/2/1495

PROJECT DESCRIPTION: SELECTIVE INTERIOR ALTERATIONS

CURRENT CODES AND STANDARDS

STATE REHAB. & FIRE CODE: RISRC-1 - 2002 OCCUPANCY CLASSIFICATION-

BUILDING AREAS:

TOTAL BUILDING AREA:

16,016 SF (APPROX) AREA AFFECTED BY THE WORK: MAX. 1.545 GROSS SE

9.64% BUILDING AREA (2) TENANT SPACES @ 933 SF & 612 SF EA J MOON BUILDING DESIGN CONSULTANTS --



GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE PRIOR TO BID SUBMITTAL TO BETTER FAMILIARIZE HIMSELF WITH CONDITIONS AT THE SITE AFFECTING PERFORMANCE OF CONTRACT WORK AND SHALL NOTIFY OWNER OR OWNERS REP. OF ANY DISCREPANCIES BETWEEN DOCUMENTS.

2. QUESTIONS FROM BIDDERS DURING THE BIDDING PROCESS WILL BE ACCEPTED BY EMAIL BY THE OWNER'S REP. AT THE FOLLOWING ADDRESS: JMOONBDC@GMAILCOM.

3. ANY NECESSARY ADDENDA WILL BE ISSUED UP TO (4) BUSINESS DAYS PRIOR TO THE BID DUE DATE & TIME.

4. ALL DIMENSIONS ARE BASED ON EXISTING CONDITIONS DRAWINGS, AND/OR FIELD MEASUREMENTS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, ET. AL PRIOR TO THE START OF CONSTRUCTION.
CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND SHALL IMMEDIATELY INFORM THE OWNER/OWNER'S REP. (IN WRITING) OF ANY/ALL DISCREPANCIES AFFECTING PROPER COMPLETION OF CONTRACT WORK.

5. DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACTOR IS TO CLARIFY ANY SUCH DISCREPANCIES WITH THE OWNER'S REP.'S OFFICE IN WRITING PRIOR TO COMMENCING WORK IN

6. ALL DIMENSIONS INVOLVING EXISTING STRUCTURE ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF THE WORK. THE COMMENCEMENT OF ANY WORK OUTSIDE OF FIELD SURVEYING ON SITE SERVES AS THE CONTRACTORS ACCEPTANCE OF EXISTING CONDITIONS WHETHER OR NOT THEY DIFFER FROM OR ARE DEPICTED IN THE DOCUMENTS.

7. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS AND LAYOUT OF THE WORK. ANY & ALL COSTS ASSOCIATED WITH UNACCEPTABLE WORK DUE TO SCALING OF THE DRAWINGS WILL BE AT THE CONTRACTOR'S EXPENSE.

8. UNLESS OTHERWISE AGREED TO IN WRITING WITH THE OWNER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS (BUILDING, MEP, FIRE, ADA, ETC.) AS REQUIRED BY STATE AND LOCAL RULES AND REGULATIONS.

9. THE CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF BUILDING & FIRE DEPARTMENT APPROVED DRAWINGS AND SPECIFICATIONS (WHERE APPLICABLE) WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT. THE JOB SUPERINTENDENT MUST BE ON-SITE AT ALL TIMES WHEN WORK OF THIS CONTRACT IS BEING PERFORMED.

PERMITTED-APPROVED PLANS SHALL BE KEPT IN A PLAN BOX & SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION.

10. SCHEDULE ALL WORK OUTSIDE OF THE "LIMIT OF WORK" WITH THE BUILDING OWNER AS APPROPRIATE. THE EXISTING FIRE PROTECTION SYSTEMS (SPRINKLER, FIRE ALARM, ET. AL.), IF ANY, MUST BE MAINTAINED INTACT AND OPERABLE AT ALL TIMES EXCEPT AS AUTHORIZED BY THE ALA.

11. THE CONTRACTOR SHALL MAINTAIN CLEAN AND ORDERLY WORK AREAS AND SHALL NOT ALLOW TRASH AND DEBRIS TO ACCUMULATE. COMBUSTIBLE DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE WITHIN BUILDING, WORK WASTE MATERIALS OR TRASH SHALL NOT BE BURNED ON SITE. UPON COMPLETION OF THE WORK, ALL SURFACES IN THE WORK AREAS, INCLUDING SURFACES WITH EXISTING FINISHES THAT REMAIN, SHALL BE DUSTED, WASHED OR OTHERWISE CLEANED TO BE FREE OF DELETERIOUS MATERIALS AND CONTAMINANTS.

12. THE CONTRACTOR SHALL COMPLY WITH ALL PUBLISHED FEDERAL, STATE AND LOCAL RECOMMENDATIONS AND REQUIREMENTS FOR SAFETY AND ACCIDENT PREVENTION, INCLUDING THOSE OF THE A.G.C., A.S.A., OSHA, ETC CONSTRUCTION.

CONSTRUCTION.

13. CONTRACTOR SHALL COMPLY WITH SECTION 31-1.1-1 OF NFPA 101, LIFE SAFETY CODE, LATEST EDITION (MAINTAINING MEANS OF EGRESS DURING CONSTRUCTION).

14. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES AND PROTECTIVE ENCLOSURES REQUIRED TO PROPERLY SECURE, WEATHER PROTECT, AND ISOLATE AREAS OF WORK AND EXISTING AREAS, HARDWARE, AND DEVICES TO REMAIN, AND TO ASSURE CONTINUING FACILITY OPERATIONS IN GENERAL AS APPROPRIATE

15. EXCEPT WHERE OTHER WRITTEN ARRANGEMENTS HAVE BEEN MADE WITH THE OWNER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE WORK PREMISES WHILE THE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETED.

16. THE OWNER RESERVES THE RIGHT TO PERFORM ADDITIONAL WORK THAT IS NOT PART OF THIS CONTRACT WITH HIS OWN FORCES, UNDER SEPARATE CONTRACTS AND/OR WITH OTHER CONTRACTORS OR VENDORS. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER AND OTHER CONTRACTORS AND COORDINATE HIS WORK WITH THE OWNER SO THAT WORK BY OTHERS CAN BE INCORPORATED IN A TIMELY MANNER. 17. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS AND RECOMMENDATIONS AS WELL AS APPLICABLE CODES. MATERIALS AND METHODS OF SEE NOTE # 39

18. ANY 8. ALL MILLWORK, WOODWORK AND WOOD DOORS SHALL BE FABRICATED, FURNISHED, AND INSTALLED IN STRICT ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE ARCHITECTURAL WOODWORK INSTITUTES, 'ARCHITECTURAL WOODWORK QUALITY STANDARDS', CUSTOM GRADE, UNLESS OTHERWISE NOTED OR SPECIFIED.

19. ANY SUBSTITUTIONS FOR MATERIALS/MANUFACTURERS SYSTEMS SPECIFIED MUST BE PRE-APPROVED BY THE OWNER'S REP.'S OFFICE OR THE OWNER IN WRITING. SUBMIT SUBSTITUTION REQUESTS, ALONG WITH APPROPRIATE SHOP DRAWINGS, PROPOSED MANUFACTURER'S PRODUCT DATA, AND SAMPLE(S) OF PRODUCT(S) IN COLOR(S)/FINISHE(SE) PROPOSED. NOTE THE REASON FOR THE SUBSTITUTION AND ANY COST SAVINGS TO BE CREDITED TO THE OWNER FOR CONTRACTOR PROPOSED SUBSTITUTIONS BY THE OWNER'S REP. MAY REQUIRE ADDITIONAL SERVICES IN THE FORM OF RESEARCH OR REDESIGN. THE OWNER AND/OR CONDUCTING A REVIEW OF THE PROPOSED SUBSTITUTION IN QUESTION.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR, OR THE MAXIMUM DURATION OF TIME ALLOWED BY LOCAL LAW, AFTER COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.

21. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN, MARKED BY THE UTILITY, OR NOT AND TO PROTECT THEM FROM DAMAGE. CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH PERFORMANCE OF THE WORK.

22. LOCATIONS FOR CONSTRUCTION DUMPSTERS OR ANY OTHER TEMPORARY FACILITIES AND STAGING AREAS OUTSIDE OF THE WORK AREA MUST BE REVIEWED WITH, AND APPROVED BY, THE OWNER'S REPRESENTATIVE, THE OWNER, AND/OR LOCAL AUTHORITIES HAVING JURISDICTION.

23. NEW GYPSUM WALLBOARD SUBSTRATES APPLIED OVER EXISTING BASES TO REMAIN, NEW STEEL STUDS, OR NEW WOOD STUDS, SHALL BE SECURED WITH APPROPRIATE FASTENERS. INSTALLATION SHALL BE IN ACCORDANCE WITH MOST RECENT PUBLICATION OF "GYPSUM CONSTRUCTION HANDBOOK" BY U.S.G. ALL JOINTS SHALL BE TAPED AND FINISHED AND APPROPRIATE METAL TRIM PROVIDED WHERE REQUIRED.

24. PROVIDE CONCEALED, IN-WALL BLOCKING AS REQUIRED TO ACHIEVE FIRM ATTACHMENT OF ALL ITEMS OF ARCHITECTURAL WOODWORK AND ALL OTHER WALL AND/OR CEILING MOUNTED FINISHES, EQUIPMENT AND ACCESSORIES, FIXTURES, ETC. ALL WOOD USED FOR BACK-BLOCKING IN CONCEALED SPACES SHALL BE PRESSURE-TREATED WITH FIRE-RESISTANT CHEMICALS (KOPPERS OR EQUAL).

25. THE CONTRACTOR SHALL PROVIDE A BEAD OF SANITARY, MILDEW RESISTANT SILICONE SEALANT AT THE FOLLOWING LOCATIONS:
A CALL LOCATIONS PRESCRIBED BY MANUFACTURER'S REQUIREMENTS
B. CONDUIT AND PIPE PENETRATIONS AT WALLS AND CEILINGS
C JUNCTIONS OF MILLWORK.

D. MISC TRIM WORK JOINTS WITH WALL

26. WHERE ALL EXISTING OR NEW PIPES, CONDUITS, CABLE WIRES, DUCTS, OR SIMILAR BUILDING SERVICE EQUIPMENT PASS THROUGH FIRE-RATED ASSEMBLIES (IE FLOORS AND WALLS), THE SPACE BETWEEN THE PENETRATING ITEM AND THE RATED ASSEMBLY SHALL BE FILLED WITH A MATERIAL CAPABLE OF MAINTAINING THE FIRE-RESISTANCE OF THE ASSEMBLY WITH THE HIGHEST RATING. 27. NOT USED

29. ALL DAMAGES TO THE BUILDING PROPERTY DUE TO CONTRACT OPERATIONS MUST BE REPORTED IMMEDIATELY TO THE BUILDING OWNER ANY DAMAGES WILL BE REPAIRED TO CONDITION PRIOR TO START OF CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.

30. THE CONTRACTOR SHALL FIRST OBTAIN THE PERMISSION OF THE OWNER AND/OR THE OWNER'S REP. BEFORE ALTERING THE: START OR COMPLETION DATES, HOURS, OR DAYS WORKMEN WILL BE ON THE SITE FROM THOSE

31. NO CONSTRUCTION DEBRIS OR MATERIAL MAY BE LEFT AROUND THE BUILDING, EVEN ON A TEMPORARY BASIS, UNLESS APPROVED BY THE OWNER

32. THE CONTRACTOR'S WORKMEN SHALL CONDUCT THEMSELVES IN A PROFESSIONAL MANNER (I.E. SHALL NOT USE PROFANITY, CREATE A NUISANCE TO SURROUNDING BUILDING OCCUPANTS, LOTTER IN SURROUNDING BUILDING OCCUPANTS, LOTTER IN SURROUNDING

33. ANY ALTERATIONS/DEVIATION FROM THE APPROVED PLANS MUST BE SUBMITTED IN WRITING TO THE OWNER'S REP.'S OFFICE FOR REVIEW AND WRITTEN APPROVAL PRIOR TO PROCEEDING WITH THE WORK, ANY CONSEQUENCES ARISING FROM ALTERATIONS/DEVIATIONS FROM THE APPROVED PLANS WITHOUT THE WRITTEN CONSENT OF THE OWNER'S AND/OR THE OWNER'S REP.'S OFFICE WILL BE AT THE CONTRACTORS OWN EXPENSE. 34. ALL INTERIOR FINISH MATERIALS MUST MEET TYPE B CONSTRUCTION W/FLAME SPREADS OF LESS THAN:

26-75 : ALL WALL AND CEILING FINISHES 0-450 : SMOKE DEVELOPED

35. ALL MATERIALS USED IN THE CONSTRUCTION MUST BE ASBESTOS AND/OR CONTAMINANT FREE.

36. ANY PENETRATIONS OR MODIFICATIONS TO THE STRUCTURE OF THE EXISTING BUILDING OR MATERIAL TO REMAIN THAT IS NOT ADDRESSED IN THE DOCUMENTS MUST BE COORDINATED WITH OWNER'S REP, STRUCTURAL ENGINEER & BUILDING OWNER PRIOR TO PLACING THE WORK

37. UNLESS OTHERWISE AGREED TO IN WRITING, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RECORD THE MINUTES OF ALL JOB MEETINGS AND TO PROVIDE THE OWNER'S REP, AND THE OWNER WITH COPIES OF THOSE MINIMUM OF 24 HOURS PRIOR TO THE NEXT MEETING.

38. IN ADDITION TO HARD COPIES & PHYSICAL SAMPLES WHERE NECESSARY, ALL PRODUCT & MATERIAL SUBMITTALS SHALL BE DELIVERED TO THE OWNER'S REP. IN AN APPROVED ELECTRONIC FORMAT. (DWG, PDF 8, DOC

39. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE CONTRACT DOCUMENTS THOROUGHLY, PRIOR TO BID, TO ENSURE COMPREHENSIVENESS. IN THE EVENT OF AN OMISSION OR INCONSISTENCY IN THE CONTRACT DOCUMENTS, FOUND AT ANY TIME, THE OWNER'S REP. MUST BE IMMEDIATELY NOTIFIED IN WRITING UPON DISCOVERY. ANY & ALLL COSTS ASSOCIATED WITH RIGHTING WORK DEEMED UNACCEPTABLE BY THE OWNER OR OWNER'S REP. DUE TO PROCEEDING WITH THE AFFECTED PORTION OF THE PROJECT PRIOR TO THE (1) NOTIFICATION OF THE OWNER'S REP, AND (2) RECEIPT OF A WRITTEN RESOLUTION FROM THE OWNER'S REP, OR OWNER WILL BE AT THE CONTRACTOR'S EXPENSE.

40. THE CONTRACTOR SHALL PLAN AND SCHEDULE WORK AND PURCHASING IN ORDER TO MINIMIZE ON-SITE CONSTRUCTION TIME.

41. 'ALIGN' GENERALLY REFERS TO ALIGNING FINISHES, UNLESS NOTED OTHERWISE.

42. ALL PENETRATIONS IN OR BETWEEN RATED ASSEMBLIES, WHETHER NEW OR EXISTING, ARE TO BE SEALED WITH APPROPRIATE FIRE-STOP MATERIALS TO MAINTAIN THE FIRE RATING OF THE ASSEMBLY.

43. THE CONTRACTOR SHALL COMPLY FULLY WITH ALL APPLICABLE, PUBLISHED ENERGY CODES, REGULATIONS, RECOMMENDATIONS & REQUIREMENTS.

44. WHERE EXISTING MATERIALS ARE REQUIRED TO BE REUSED IN ANY FASHION OR FOR ANY PURPOSE, SUPPLY ALL INTERCESSORY AND APPROPRIATE FASTENERS, BRACKETS, CUTTING, PATCHING AND PAINTING TO BRING THE

45. THE CONTRACTOR MUST COMPLY WITH ALL FEDERAL, STATE & LOCAL CODES, ORDINANCES & REGULATIONS. REMOVAL & REPLACEMENT OF THE INSTALLATION OF NON-COMPLIANT WORK, MATERIALS, ETC SHALL BE AT THE CONTRACTOR'S EXPENSE REGARDLESS OF HOW THE WORK IS DEPICTED OR SPECIFIED BY THE CONTENTS OF THESE DOCUMENTS.

UE NO. 3 . 09,20,24 . REVIEW SSUE NO. 2 • 08.28.24 • REVIEW

VILLA IMPERIALE

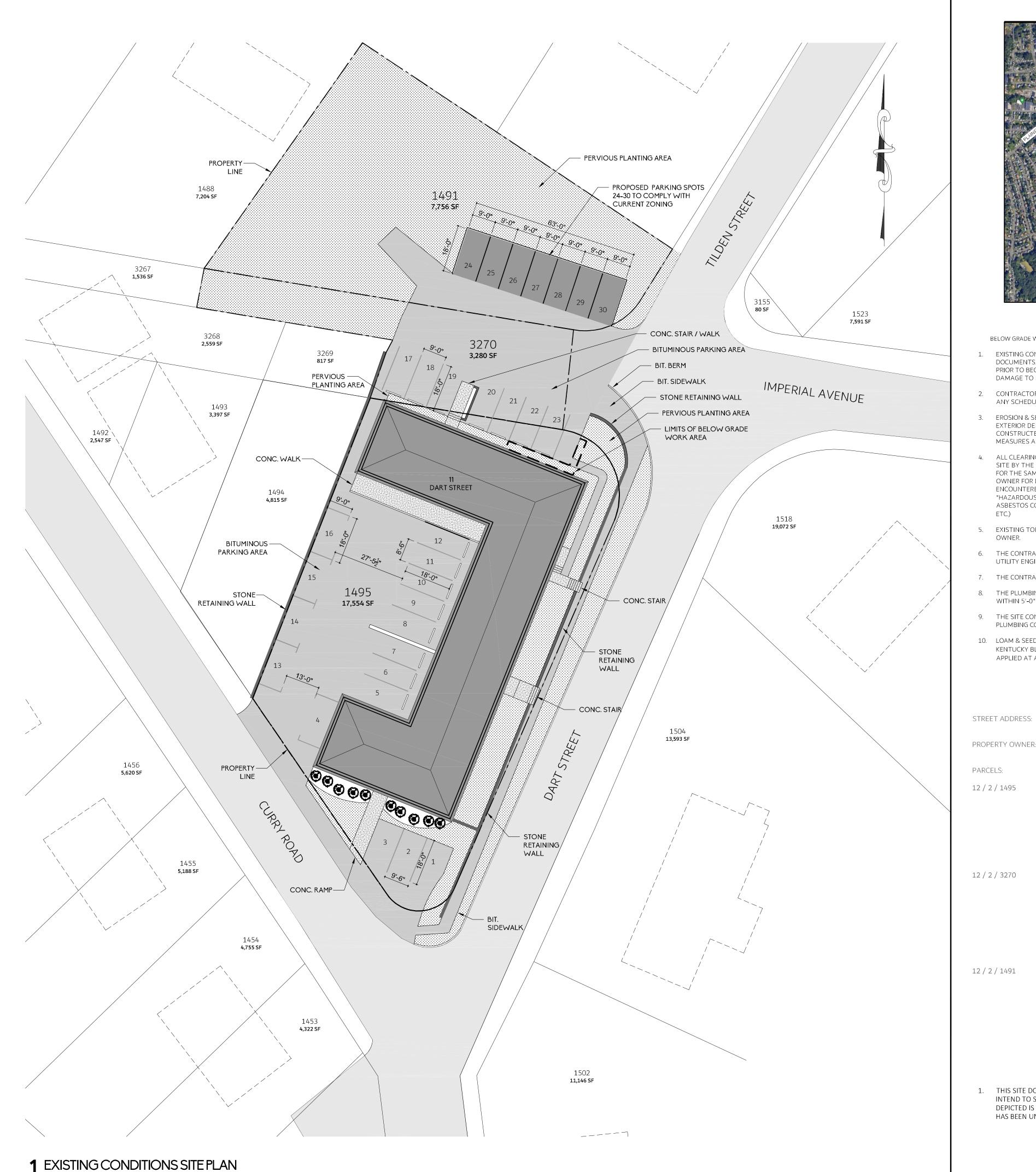
11 DART STREET CRANSTON RI 02920

IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON, RI 02905

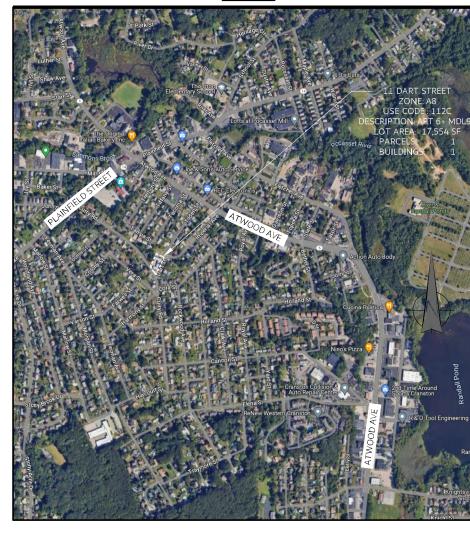
SHEET TITLE.

COVER

A0.0







SITE NOTES:

BELOW GRADE WORK PLANNED UNDER THIS CONTRACT IS LIMITED TO THE AREA OF WORK AS NOTED.

- 1. EXISTING CONDITIONS HAVE BEEN DEPICTED BASED UPON FIELD OBSERVATION & PUBLIC RECORD DOCUMENTS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, TYPES, & SIZES OF UTILITIES PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES FROM ANY OF HIS OPERATIONS.
- CONTRACTOR SHALL NOTIFY DIG-SAFE IN RHODE ISLAND AT LEAST 5 BUSINESS DAYS PRIOR TO ANY SCHEDULED EXCAVATION.
- 3. EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING EXTERIOR DEMOLITION WORK. ALL EROSION & SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CRANSTON REGULATIONS. ALL E&S MEASURES ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 4. ALL CLEARING MATERIAL, DEMOLITION & CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. THIS MATERIAL SHALL BE PROPERLY DISPOSED OF OFF SITE. COSTS FOR THE SAME SHALL BE INCLUDED AS BASE CONTRACT WORK. NO ADDITIONAL COSTS TO THE OWNER FOR DISPOSAL WILL BE ENTERTAINED WITH THE EXCEPTION OF HAZARDOUS MATERIALS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION. TO MEET THE DEFINITION OF "HAZARDOUS", THE STATE OF MA MUST DELINEATE IT AS SUCH & REGULATE IT'S DISPOSAL. (I.E.: ASBESTOS CONTAINING MATERIALS, UNDERGROUND STORAGE TANKS, CONTAMINATED SOILS, ETC.)
- 5. EXISTING TOPSOIL SHALL BE REMOVED & STOCKPILED ON-SITE IN A LOCATION SPECIFIED BY THE OWNER.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING & COORDINATING WITH THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS PRIOR TO CONSTRUCTION OPERATIONS.
- 7. THE CONTRACTOR SHALL TAKE CARE TO PROTECT EXISTING PAVEMENTS.
- 8. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND CONNECTIONS WITHIN 5'-0" OF THE BUILDING PERIMETER.
- 9. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TIE-INS TO UTILITIES INSTALLED BY THE PLUMBING CONTRACTOR.
- 10. LOAM & SEED ALL DISTURBED GRASS AREAS WITH 6" LOAM & SEED MIX. SEED MIX SHALL BE 45% KENTUCKY BLUE / 45% CREEPING RED FESCUE / 10% PERENNIAL RYE GRASS. SEED TO BE APPLIED AT A RATE OF 4 # / 1,000 SF. PLANTING SEASON SHALL BE APRIL 1 OCTOBER 15.

PROPERTY DATA:

11 DART STREET CRANSTON, RI 02920

	010 110 1011, 111 02320	
TY OWNER: S:	IMPERIAL APARTMEI 1704 BROAD STREET CRANSTON, RI 02905	_
1495	USE CODE DESCRIPTION ZONE	
	NEIGHBORHOOD ALT LAND APPR SIZE (SQR FEET)	NO
3270	USE CODE 1320 DESCRIPTION ZONE NEIGHBORHOOD ALT LAND APPR SIZE (SQR FEET)	A6 0050 NO
1491	USE CODE 1310 DESCRIPTION ZONE NEIGHBORHOOD ALT LAND APPR SIZE (SQR FEET)	A6 0050 NO

PLAN NOTE:

 THIS SITE DOCUMENTATION IS DIAGRAMMATIC, IS NOT EXHAUSTIVE, AND DOES NOT INTEND TO SHOW EVERY DETAIL AND FEATURE OF THE EXISTING PROPERTY. PROPERTY DATA DEPICTED IS TAKEN FROM MUNICIPAL PUBLIC RECORDS & FIELD OBSERVATIONS. NO SURVEY HAS BEEN UNDERTAKEN AS PART OF THIS PROJECT. J MOON BUILDING

DESIGN CONSULTANTS

401.632.7090 jmoonbdc@gmail.com

ARCHITECT OF RECORD:

ENGINEER OF RECORD:

PROJECT:

VILLA IMPERIALE

PROPERTY ADDRESS:

11 DART STREET CRANSTON, RI 02920

PROPERTY OWNER:

IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON, RI 02905

SHEET TITLE:

SITE PLAN

40.2

MEP / FP DESIGN / BUILD NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DESIGN/BUILD ALL NECESSARY ELECTRICAL MECHANICAL FLUMBING & FIRE PROTECTION / NOTIFICATION FORTIONS OF THIS PROJECT. INFORMATION ILLUSTRATED OR NOTED WITHIN THIS DOCUMENT SET SERVES TO SHOW INTENT ONLY. WHERE REQUIRED BY THE BUILDING DEFARTMENT, THE CONTRACTOR SHALL ENLIST THE SERVICES OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS TO FERFORM THE REQUIRED SCOPE OF WORK. THE CONTRACTOR AND HIS ASSIGNS ARE FURTHER RESPONSIBLE THROUGH THEIR DESIGN TO ENSURE COMPLIANCE WITH ALL APPLICABLE LAWS, CODES, ORDINANCE & DIRECTIVES WHETHER FEDERAL STATE OR LOCAL AS RELATING TO THE MECHANICAL ELECTRICAL PLUMBING, FIRE PROTECTION & FIRE PROTECTION & FIRE PROTECTION & FIRE PROTECTION AFIRE TO BE CARRIED BY THE CONTRACTOR AT THE TIME OF BID EITHER AS ALLOWANCES OR THROUGH SUBCONTRACTOR PROPOSALS AND SHALL BE INCLUDED IN THE GENERAL CONTRACTORS BASE BID.

2. THE DRAWINGS MAY DEPICT A LAYOUT OF ELECTRICAL SYSTEMS AND EQUIPMENT IN APPROXIMATE LOCATIONS, BUT THESE ARE SCHEMATIC DEPICTIONS ONLY. THE EXACT LOCATION OF EQUIPMENT OR THE ROUTING OF RACEWAYS SHALL BE DETERMINED BY THE STRUCTURAL CONDITIONS ON THE JOB. IT IS REQUIRED THAT THE ELECTRICAL INSTALLATION BE COMPLETE WITH ALL LABOR MATERIALS AND COORDINATION REQUIRED. THIS SHALL INCLUDE BUT IS NOT LIMITED TO, SUPPORTS, CABLE, LUGS, CONNECTORS, COVERS, FRAMES, OVER CURRENT PROTECTION, SIGNS, INSTRUCTIONS AND ALL INCLIDED BUT IS NOT LIMITED TO, SUPPORTS, CABLE, LUGS, CONNECTORS, COVERS, FRAMES, OVER CURRENT PROTECTION, SIGNS, INSTRUCTIONS AND ALL INCLIDED BUT IS NOT LIMITED TO, SUPPORTS, CABLE, LUGS, CONNECTORS, COVERS, FRAMES, OVER CURRENT PROTECTION, SIGNS, INSTRUCTIONS AND ALL INCLIDED BUT IS NOT LIMITED TO, SUPPORTS, CABLE, LUGS, CONNECTORS, COVERS, FRAMES, OVER CURRENT PROTECTION, SIGNS, INSTRUCTIONS AND ALL INCLIDED BUT IS NOT LIMITED TO, SUPPORTS, CABLE, LUGS, CONNECTORS, COVERS, FRAMES, OVER CURRENT DEVICES SUCH AS SHAULT RIPS, OVER CURRENT DEVICES SUCH AS S

3. WHERE THE DOCUMENTS CALL FOR EQUIPMENT TO BE LOCATED IN THE FIELD OR ON THE JOB, AND/OR THE CONTRACT DOCUMENTS DO NOT SHOW THE LOCATION OF EQUIPMENT SPECIFIED, IT SHALL BE UNDERSTOOD THAT THE EXACT LOCATION SHALL BE DETERMINED ON THE JOB BY THE OWNER'S REP. & G.C.

4. THE DRAWINGS MAY SHOW THE LOCATION OF ELECTRICAL EQUIPMENT OR DEVICES LIKE DISCONNECT SWITCHES, MOTOR STARTERS AND SIMILAR EQUIPMENT THROUGHOUT THE DRAWINGS ALONG WITH A LAYOUT OF ELECTRICAL ROUMS AND MECHANICAL ROUMS WITH ELECTRICAL EQUIPMENT, THESE LOCATION OF THE EXACT LOCATION OF THE ELECTRICAL EQUIPMENT ON THE EXACT LOCATION OF THE EXACT LOCATION OF THE ELECTRICAL EQUIPMENT ON THE EXACT LOCATION OF THE EXACT LOCATION OF THE ELECTRICAL EQUIPMENT ON THE EXACT LOCATION OF THE EX

5. WIRING FOR BRANCH CIRCUITS ABOVE HUNG CEILINGS (CONCEALED), IN THE WALLS AND PARTITIONS SHALL BE METAL-CLAD TYPE MC CABLE AS DEFINED BY THE NATIONAL ELECTRICAL CODE, ALL EXPOSED WIRING TO BE IN EMT OR RIGID CONDUIT, METAL-CLAD CABLE SHALL NOT BE RUN EXPOSED, ALL CONDUCTORS IN MC SHALL BE COPPER THHN. MC CABLE SHALL HAVE AN INSULATED GREEN GROUND WIRE. MC CABLE SHALL DE INSTALLED FER NEC ARTICLE 334-10. ALL CONDUCTORS SHALL BE A MINIMUM SIZE OF NUMBER 12 AWG. ALL CONDUIT SIZES UNLESS SHOWN ON DRAWINGS SHALL ADHERETO THE NEC CODE.

6. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, IF A PARTICULAR ITEM IS CALLED FOR OR SPECIFIED MORE THAN ONCE IN THESE CONTRACT DOCUMENTS, THE HIGHER GRADE SHALL BE CONSIDERED SPECIFIED.

7. WHEN DIMENSIONS ARE GIVEN ON THE DRAWINGS, THEY ARE APPROXIMATE ONLY. THESE DRAWINGS ARE GIVEN FOR THE CONVENIENCE OF THE BIDDERS. THE EXACT LENGTH MUST BE DETERMINED ON THE JOB BY THE BIDDER, NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ANY DISCREPANCIES BETWEEN THE ACTUAL MEASUREMENTS AND THOSE INDICATED ON THE DRAWINGS.

8. THE LOCATION OF LIGHTING FIXTURES, SWITCHES, MECHANICAL UNITS, EMERGENCY FIXTURES SHOWN ON ELECTRICAL PLANS ARE APPROXIMATE. THE EXACT LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR & OWNER & / OR THE OWNERS REP-

9. WHERE SHOP DRAWING REVIEW IS UNDERTAKEN BY THE OWNER'S REP, SUCH REVIEW DOES NOT APPLY TO QUANTITIES, NOR RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR FURNISHING MATERIALS OR PERFORMING THE WORK IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE OF THE MEASUREMENTS OF THIS BUILDING OR THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE OF THE MEASUREMENTS OF THIS BUILDING OR THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE OF THE MEASUREMENTS OF THIS BUILDING OR THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE OF THE MEASUREMENTS OF THIS BUILDING OR THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE OF THE MEASUREMENTS OF THIS BUILDING OR THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE OF THE MEASUREMENTS OF THIS BUILDING OR THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE OF THE MEASUREMENTS OF THIS BUILDING OR THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE.

10. ALL ELECTRICAL BOXES SHALL HAVE COVERS. IF A BOX DOES NOT CONTAIN A DEVICE A BLANK DEVICE PLATE SHALL BE PROVIDED. NO BOX WITH OR WITHOUT WIRES AND/ OR A DEVICE SHALL BE LEFT WITHOUT A COVER.

11. SUBMIT ALL EQUIPMENT AND MATERIAL TO OWNER AND / OR THE OWNER'S REP. FOR ACCEPTANCE FAILURE TO SECURE ACCEPTANCE OF EQUIPMENT AND MATERIAL PRIOR TO INSTALLATION WILL NOT RELIEVE THIS CONTRACTOR FROM THE RESPONSIBILITY OF REMOVAL AND INSTALLATION OF SPECIFIED WORK AT THE CONTRACTORS EXPENSE.

12. OBTAIN AND PAY FOR ALL STATE AND LOCAL PERMITS FOR ALL WORK BY THIS CONTRACTOR.

12. PROVIDE TO OWNER A ONE-YEAR FULL PARTS AND LABOR WARRANTY ON ALL EQUIPMENT AND MATERIAL. WARRANTY PERIOD TO BEGIN ON THE DATE OF CERTIFICATE OF OCCUPANCY ISSUE, NOT ON THE DATE OF PRODUCT INSTALLATION. WHERE EQUIPMENT START-UP OCCURS PRIOR TO C. OF O., SPECIAL WRITTEN DISPENSATION CAN BE PROVIDED BY THE OWNER TO ALLOW THE WARRANTY PERIOD TO BEGIN DATE.

14. SUBMIT TO OWNER O & M MANUALS (ELECTRONIC FORM ON USB MEDIA)) ON ALL INSTALLED EQUIPMENT BY THIS CONTRACTOR

15. TV/MONITOR DATA WIRING TO BE CAT 6 CABLE & HDMI, WIRING NOT SHOWN - DMARC UNKNOW

16. DATA TO BE CATÉ, WIRING NOT SHOWN - DMARC UNKNOWN - CARRY 1 RUN FROM OFFICE 112 TO EACH DATA LOCATION SHOWN

17. THIS CONTRACTOR IS REQUIRED TO VISIT THE SITE BEFORE SUBMITTING A BID TO OBSERVE EXISTING CONDITIONS. SHOULD ANY EXISTING CONDITION BE DIFFERENT FROM THAT WHICH IS ON THE DRAWINGS WHICH DOES NOT ALLOW THIS CONTRACTOR TO FERFORM THE WORK SHOWN THIS MUST BE BROUGHT TO THE OWNER'S REP.'S ATTENTION BEFORE BID SUBMITTAL THIS MUST BE DONE IN WRITING, NO VERBAL

18. ALL DEMOLISHED EQUIPMENT, WIRE, MATERIAL, LIGHTS, SWITCHES, CONDUIT, MC CABLE ETC. TO BE REMOVED AND DISPOSED OF PROPERLY OFF SITE.

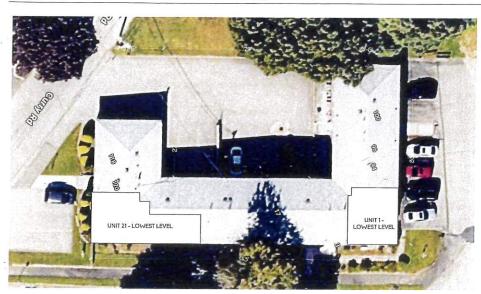
19. ALL REUSED WIRE CONDUIT, JUNCTION BOXES, BOXES, SWITCHES, MC CABLE MUST BE APPROVED IN WRITING BY THE OWNER & / OR OWNER S REP. PRIOR TO REUSE

20. REMOVE AND DISPOSE OF OFF SITE ALL EXISTING LIGHT FIXTURES, WIRE CONDUIT, ETC. THAT ARE NOT INCLUDED IN THE PROPOSED WORK OF THIS FROJECT. CONDUIT RE-USE IS ACCEPTABLE ONLY FOLLOWING WRITTEN APPROVAL OF OWNERS REP.

21. WHERE ELECTRIC UNIT HEATERS ARE TO BE UTILIZED, APPROPRIATELY SIZE & SELECT UNITS BASED UPON BUILDING SPECIFICATIONS, SPACE VOLUMES, INTENT OF USE, AND TRIM KITS. BASIS OF DESIGN, TRANE MODEL UHCA 041B8A, 041C8A OR 043A8A

22. WHERE SPLIT SYSTEM A/C UNITS ARE TO BE UTILIZED, APPROPRIATELY SIZE & SELECT UNITS BASED UPON BUILDING SPECIFICATIONS, SPACE VOLUMES, INTENT OF USE, AND THERMAL INSULATION QUALITIES OF THE SPACES. CONDENSERS TO BE ROOF OR WALL. MOUNTED ON EXTERIOR OR IN MECHANICAL SPACES WHERE SUITABLE AIR EXCHANGE CONDITIONS ARE IMPLEMENTED. WALL OR CEILING UNITS TO BE LOCATED ON-

KEY PLAN



SCALE: 1' = 20'-0"

DEMOLITION NOTES

DE ALL LABOR AND MATERIALS TO COMPLETE ALL REMOVALS & DEMOLITION OF ALL ITEMS AS ATEO AND/OR NOTED ON THE DRAWINGS.

THE AREAS OF CHANGE AND GENERAL SCOPE OF WORK IS INDICATED BY THE DRAWINGS. IT IS IMPRACTICAL TO EFFECTIVELY INDICATE ALL ITEMS THAT CONSTITUTE EXISTING CONDITIONS TO BE REMOVED OR ALTERED THROUGH DASHED LINES AND NOTES. THE G.C. IS THEREFORE REQUESTED TO FAMILIARIZE THEMSELVES WITH THE ONSITE CONDITIONS IN THE AREAS OF CHANGE INDICATED ON THE DRAWINGS. IT IS ASSUMED BY THE DWNER'S REP. AND OWNER THAT THE SUBMISSION OF A BID FOR THE WORK INDICATES THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS AND OF THE SCOPE OF WORK REQUIRED TO FURNISH AND INSTALL THE PROPOSED WORK.

ALL REMOVED ITEMS SHALL BE TRANSPORTED AND DISPOSED OF LEGALLY.

PROVIDE REMOVAL OR RELOCATION OF ELECTRICAL AND DATA ITEMS EXISTING IN WALLS TO BE DEMOLISHED. THESE ITEMS ARE TO INCLUDE WIRING, CONDUIT, RACEWAYS, SWITCH BOXES, RECEPTACLES, SWITCHES. DEMO OPERATIONS SHALL, AT A MINIMUM, MAKE SAFE THESE CONDITIONS BACK TO EXISTING TO REMAINING CONSTRUCTION.

REMOVE ALL LINE AND LOW VOLTAGE WIRING IN AREAS OF CHANGE NOT INTENDED FOR REUSE BACK TO

LIGHT FIXTURES IN THE AREA OF DEMOLITION THAT ARE NOT INDICATED TO BE REUSED ARE TO BE CAREFULLY REMOVED, STORED AND PROVIDED TO THE OWNER.

WHERE ONLY A PORTION OF AN EXISTING PARTITION IS TO BE REMOVED, G.C. TO TAKE CARE TO REMOVE ANY WALL BASE ALONG THE ENTIRE STRETCH OF WALL TO THE NEXT INSIDE OR OUTSIDE CORNER. PATCH EXISTING TO REMAIN WALL RINNER PETECTED BY DEMO OPERATIONS.

WHERE FINISHES HAVE BEEN PARTIALLY REMOVED DURING DEMO OPERATIONS, ANY EDGE TO REMAIN

ALL VOICE, DATA. SECURITY, FIRE AND SMOKE WIRES, DEVICES AND APPURTENANCES TO REMAIN TO BE SECURED TO THE UNDERSIDE OF THE DECK OR STRUCTURE ABOVE TO PROTECT FROM DAMAGE.

FLUSH AND CAP ALL PLUMBING TO BE ABANDONED. CUT AND CAP TO BE BEHIND FINISH PLANES.

WHERE MECHANICAL ITEMS REQUIRE REMOVAL OR RELOCATION TO ACCOMMODATE THE WORK THE EXISTING SYSTEM SHALL BE INVESTIGATED BY THE CONTRACTOR TO ENSURE MODIFIED RUNS AND SIZING ARE WITHIN ACCEPTABLE LIMITS. REPORT ANY POTENTIAL CONFLICTS OR QUESTIONABLE CONDITIONS TO THE OWNER'S REP. PRIOR TO DEMOLITION / CONSTRUCTION ACTIVITIES AFFECTING THAT

WHERE EXISTING TO REMAIN WALLS, CEILINGS OR FLOORS ARE DISTURBED BY DEMOLITION OR CONSTRUCTION OPERATIONS, PATCH AND MATCH EXISTING TO REMAIN FINISHES TO ORIGINAL CONDITION. WHERE REPAIRING IS REQUIRED, PAINTING SHALL BE FLOOR TO CEILING & CORNER TO

NO TESTING OR INVESTIGATION FOR HAZARDOUS MATERIALS HAS BEEN UNDERTAKEN. ANY POTENTIALLY HAZARDOUS OR HARMFUL (ACM, ECT) SUBSTANCES ENCOUNTERED DURING DEMOLIT OPERATIONS SHALL BE LEFT UNDISTURBED AND THE OWNER'S REP, IS TO BE NOTIFIED IMMEDIATELY.

PHASING OF THE WORK IS NOT DEPICTED HEREIN. SUBCONTRACTORS ARE TO COORDINATE WITH G.C.

NEW WORK NOTES

WHERE AN EXISTING TO REMAIN FARTITION OR INTERIOR FACE OF EXTERIOR WALL IS CALLED OUT TO RECEIVE NEW OWB IN A ROOM WITH ACT, THE NEW GWB SHALL EXTEND FROM THE FINISH FLOOR to 12 AFF.
REPLACEMENT OF GWB MORE THAN 12 ABOVE THE FINISH FLOOR IS NOT WITHIN THE SCOPE OF THE WORK.

ALL NEW GWB TO BE 12" UNLESS EXISTING INTERFERENCE CONDITIONS (ETR DOOR FRAMES, WINDOW FRAMES, FICE) NECESSITATE SUBSTITUTION. IF A SIMILAR CONDITION IS DISCOVERED, BRING IT TO THE OWNERS ARE'S ATTENTION FOR REVIEW PRIOR TO FLACING WORK.

ALL FLOORING TO BE FLUSH TO ADJACENT FLOORING MATERIALS. WHERE DIFFERING MATERIAL THICKNESSES AND/OR EXISTING SUBSURFACE CONDITIONS PREVENT THIS, CONDITION APPROPRIATE & ADA COMPLIANT REDUCERS & TRANSITION STRIPS ARE TO BE INCORPORATED INTO THE WORK

WHERE EXISTING TO REMAIN WALLS CEILINGS OR FLOORS ARE DISTURBED BY DEMOLITION OF CONSTRUCTION OPERATIONS, PATCH AND MATCH EXISTING TO REMAIN FINISHES TO ORIGINAL CONDITION. WHERE REPAINTING IS REQUIRED PAINTING SHALL BE FLOOR TO CEILING CORNER TO CORNER

EXTERIOR STOREFRONT IS EXISTING TO REMAIN - HOWEVER THE SYSTEM SHALL BE INSPECTED AND REPAIRED /

ALL NEW PARTITIONS ARE TO BE BRACED TO STRUCTURE. BRACING SHALL NOT BE VISIBLE ONCE FINISHES ARE INSTALLED, WHERE THERE BI INTERSTITIAL SPACE BETWEEN THE NEW CEILING PLANES AND THE FACE OF THE FRAMING SYSTEM, INSTALL SOLID BLOCKING AT ATTACHMENT FOINTS.

THE FLOORING FINISH SCOPE OF WORK IS NOT DELINEATED HEREIN. COORDINATE WITH THE OWNER /

ANY MECHANICAL SYSTEM OR COMPONENT SHOWN HERE IS SCHEMATIC IN NATURE AND IS PROVIDED ANY PIECHANICAL STSTEPHOR COUNTERN SHOWN RISKS IS ALTERIAL IN NATIONER AND IS ROUTED SOLERY TO DEPICT DESIGN INTENT. THE CONTRACTOR SHALL ENGAGE A RHODE ISLAND. LICENSED MECHANICAL CONTRACTOR AND/OR PROFESSIONAL ENGINEER TO DETERMINE THE SUITABILITY OF THE SUI NEW WORK. IF THE EXISTING SYSTEM IS FOUND TO BE UNSUITABLE FOR THE PROPOSED LAYOUT, NOTIFY THE OWNER'S REP. IMMEDIATELY IN WRITING BY EMAIL

WHERE PORTIONS OF MECHANICAL SYSTEMS REQUIRE MODIFICATION TO ACCOMMODATE THE WORK, THE EXISTING SYSTEM SHALL BE INVESTIGATED BY THE CONTRACTOR TO ENSURE MODIFIED RUNS AND SIZING ARE WITHIN ACCEPTABLE LIMITS. REPORT ANY POTENTIAL CONFLICTS OR QUESTIONABLE CONDITIONS TO THE OWNER'S REP. PRIOR TO DEMOLITION / CONSTRUCTION ACTIVITIES AFFECTING THAT THE

FIRE ALARM DEVICES & COMPONENTS ARE NOT SHOWN THE CONTRACTOR SHALL ENGAGE A RHODE ISLAND LICENSED FIRE ALARM CONTRACTOR AND/OR PROFESSIONAL ENGINEER TO EVALUATE THE EXISTING SYSTEM & TO DESIGN/DOCUMENT THE REQUIRED FIRE ALARM MODIFICATIONS.

THE ELECTRICAL / LIGHTING LAYOUT IS NOT DEPICTED HEREIN. THE CONTRACTOR SHALL ENGAGE A RHODE ISLAND LICENSED ELECTRICAL CONTRACTOR AND/OR PROFESSIONAL ENGINEER TO DETERMINE THE SUITABILITY OF THE EXISTING ELECTRICAL SYSTEM TO THE PROPOSED LAYOUT PRIOR TO THE PLACEMENT OF NEW WORK. IF THE EXISTING SYSTEM IS FOUND TO BE UNSUITABLE FOR THE PROPOSED LAYOUT, NOTIFY THE OWNER'S REP. IMMEDIATELY IN WRITING BY EMAIL

LEGEND

WALL TYPE #

#

0

(A) WINDOW TYPE

DEMOLITION KEY NOTE

 \otimes FURNITURE KEY NOTE (XXX) FINISH SCHEDULE NOTE

DOOR NUMBER

GENERAL KEY NOTE DATUM

T SECTION TAG

SECTION NUMBER X#.# SHEET NUMBER

ROOM TAG

-ROOM NAME ### ROOM NUMBER

> **DETAIL TAG** -DETAIL NUMBER SHEET NUMBER

ELEVATION TAG

-ELEVATION NUMBER XH'H SHEET NUMBER

INTERIOR ELEVATION TAG -DETAIL NUMBER SHEET NUMBER

ELEVATION TAG DISTANCE ABOVE DEFINED PLANE

-LOCATION NAME

PROJECT DIRECTORY

PROJECT ADDRESS:

11 DART STREET CRANSTON, RI 02920

PROPERTY OWNER:

IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON RI CONTACT: AL D'ANDREA TEL: (401) 580-1500 EMAIL: al@edgewoodgroup.com

PROJECT OWNER:

IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON, RI CONTACT: AL D'ANDREA TEL - (401) 580-1500 EMAIL: al@edgewoodgroup.com

OWNER'S REP.:

1AY MOON MOON BUILDING DESIGN CONSULTANTS 15 BAY VIEW AVE RIVERSIDE, RI TEL: 401.632-7090 EMAIL: jmoonbdc@gmail.com

IMOON BUILDING DESIGN CONSULTANTS

SSUE NO.3 • 09.20.24 • REVIEW SSUE NO. 2 - 08.28.24 - REVIEW SSUE NO. 1 - 08.25.24 - REVIEW

VILLA IMPERIALE

11 DART STREET CRANSTON, RI 02920

IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON, RI

NOTES

A0.1

DOORS WITHOUT NUMBERS ARE EXISTING TO REMAIN DOOR 01: 45 MIN. FIRE RATED, FLAT PANEL, STAINED WOOD

FACTORY FINISH (SUBMIT SAMPLES)

- KEYED ENTRY @ EXTERIOR
 KEYED DEADBOLT
 SINGLE RABBET FRAME
 45 MIN. FIRE RATING
 1-1/2* PAIR STEEL BEARING BUTT HINGES
 DOOR STOP, FLOOR OR WALL
 FRAME SILENCERS

DOORS 02 - 03: SOLID CORE WD, FACTORY FINISH (SUBMIT SAMPLES)

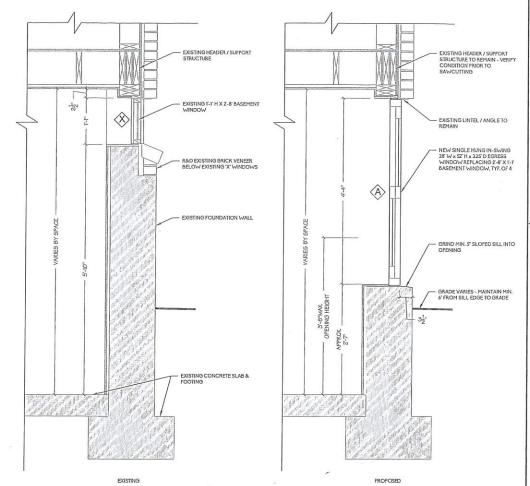
DOOR 01: 3-0 X 7-0, WD FRAME, 45 MIN. RATED DOOR 02: 2-8 X 5-8, WD FRAME SOLID CORE DOOR 03: 2-0 X 5-8, WD FRAME SOLID CORE

1. SINGLE RABBET FRAMES - GC. TO CONFIRM FRAME DEPTHS PRIOR TO ORDER 2. 1-1/2 PAIR STEEL BEARING BUTT HINGES 3. DOOR STOP, FLOOR OR WALL 4. FRAME SILENCERS

LEVER LATCHSET FUNCTIONS:

02 PRIVACY 03 PASSAGE

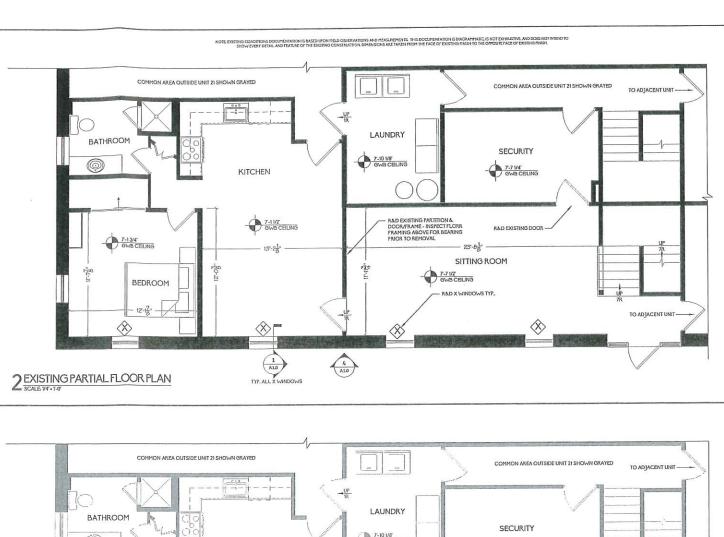
WINDOW A: BASIS OF DESIGN = REDI-EXIT EGRESS SYSTEMS COMPACT SINGLE HUNG IN-SWING 28" W x 52" H x 325" D EGRESS WINDOW

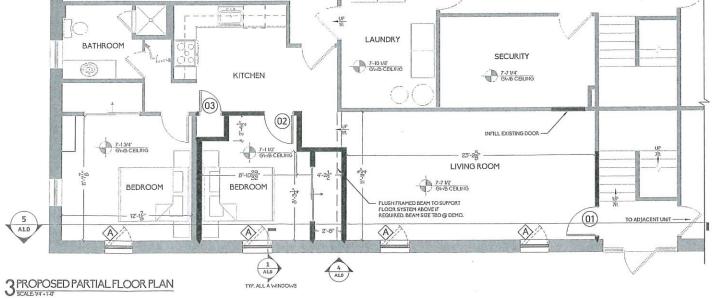


TYP. SECTION THROUGH WINDOWS



STREET VIEW





VILLA IMPERIALE

11 DART STREET CRANSTON, RI 02920

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ISSUE NO. 1 · 08.25.24 · REVIEW

PROPERTY ADDRESS

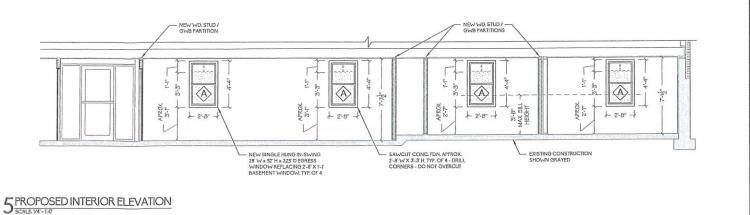
PROJECT:

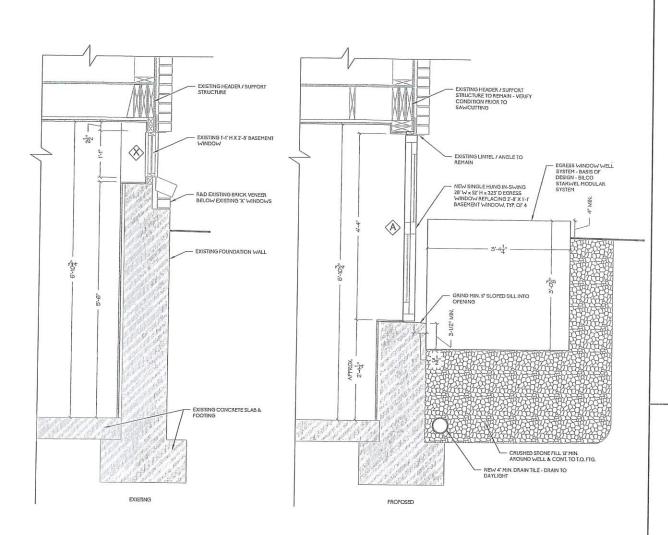
IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON, RI 02905

SHEET TITLE

UNIT 21 SCOPE SHEET

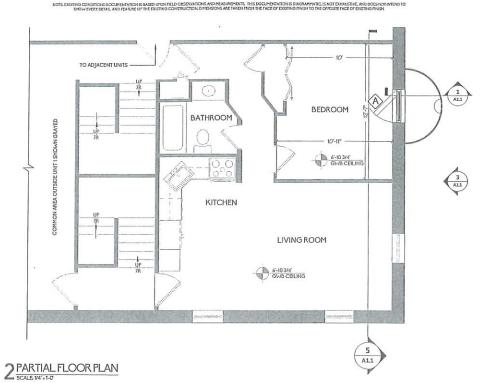
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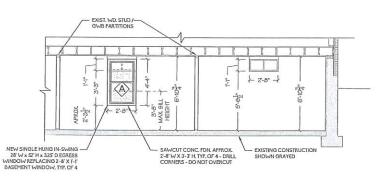


1 TYP. SECTION THROUGH WINDOWS









5 PROPOSED INTERIOR ELEVATION

UNIT 1 NOTES:

1. CEILING HEIGHT: EXISTING CEILING HEIGHT DOES NOT MEET CURRENT REQUIREMENTS HOWEVER NEITHER THE EXISTING CEILING NOR THE EXISTING FLOORING IS UNDERGOING MODIFICATION. EXISTING HEIGHT OF APPROXIMATELY 6'-10 IS EXISTING TO REMAIN.

2. STRUCTURE ABOVE EXISTING WINDOW OPENINGS HAS NOT BEEN VERIFIED - CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPORT FINDINGS TO ARCHITECT PRIOR TO PROCEEDING WITH ANY MODIFICATIONS TO STRUCTURE.

3. WINDOW A BASIS OF DESIGN = REDI-EXIT EGRESS SYSTEMS COMPACT SINGLE HUNG IN-SWING 28" W x 52" H x 3.25" D EGRESS WINDOW

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			•	
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ISSUE NO. 2		08.28.24		REVIEW
ISSUE NO. 1	•	08.25.24		REVIEW

PROJECT

VILLA IMPERIALE

OPERTY ADDRESS

11 DART STREET CRANSTON, RI 02920

PROPERTY OWNE

IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON, RI 02905

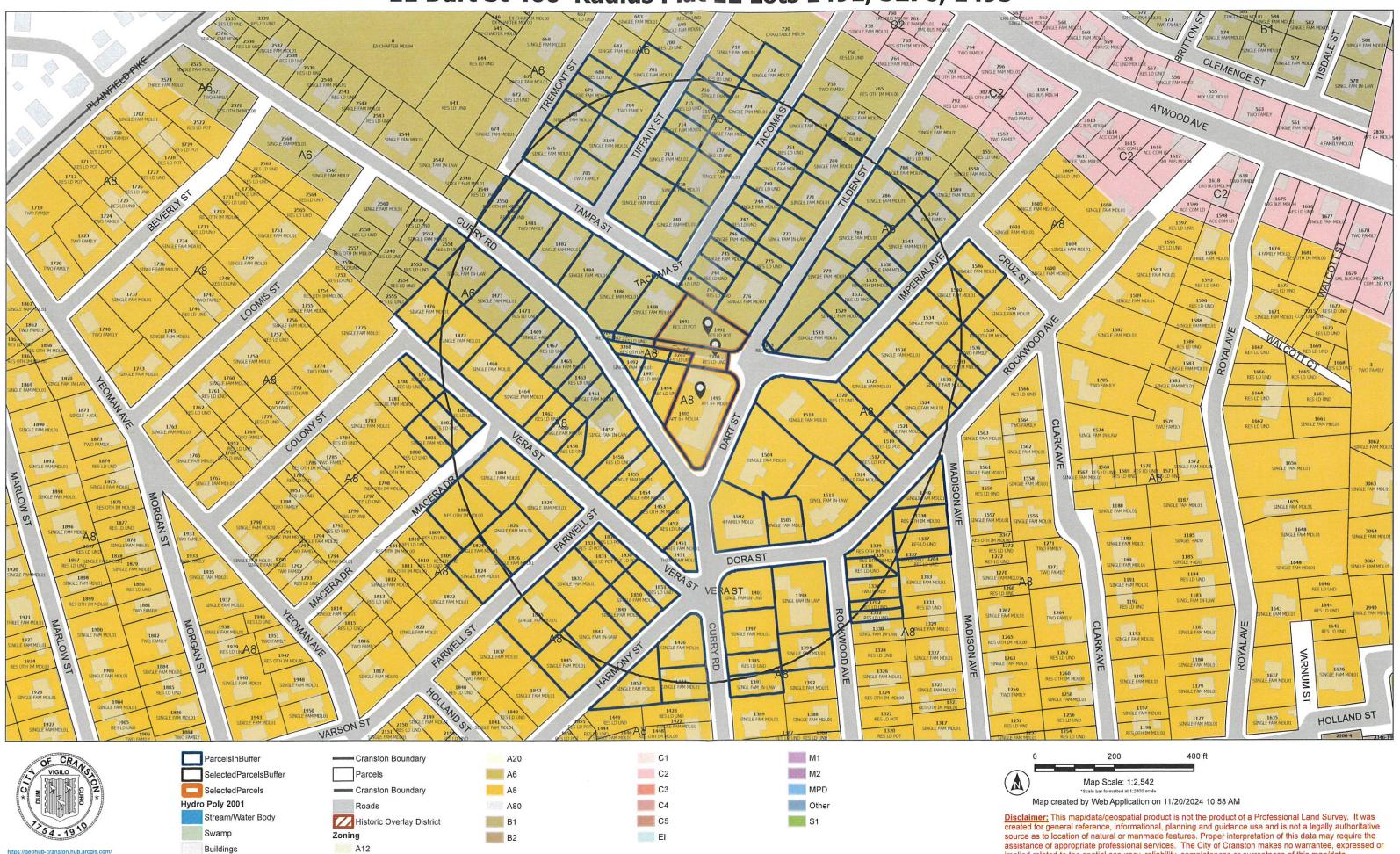
SHEET TITLE

UNIT 1 SCOPE SHEET

A1.1

3 STREET VIEW

11 Dart St 400' Radius Plat 12 Lots 1491, 3270, 1495



implied related to the spatial accuracy, reliability, completeness or currentness of this map/data.