

**City of Cranston
Zoning Board of Review
Application**

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review
35 Sockanosset Crossroad Suite 6
Cranston, RI 02920

Date: November 22, 2024

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Imperial Apartments LLC

ADDRESS: 1704 Broad Street, Cranston, RI ZIP CODE: 02905

APPLICANT: Imperial Apartments LLC

ADDRESS: 1704 Broad Street, Cranston, RI ZIP CODE: 02905

LESSEE: _____

ADDRESS: _____ ZIP CODE: _____

1. ADDRESS OF PROPERTY: 11 Dart Street
2. ASSESSOR'S PLAT #: 12/2 BLOCK #: _____ ASSESSOR'S LOT #: 1491, 1495
3270 WARD: 5
3. LOT FRONTAGE: _____ LOT DEPTH: _____ LOT AREA: 28,590 sq. ft.
4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A-8 8,000 sq. ft. 35'
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)
5. BUILDING HEIGHT, PRESENT: 2 stories PROPOSED: same
6. LOT COVERAGE, PRESENT: 21% PROPOSED: same
7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 12/28/23
8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? Yes
9. GIVE SIZE OF EXISTING BUILDING(S): 138' x 82' irregular shape
10. GIVE SIZE OF PROPOSED BUILDING(S): same
11. WHAT IS THE PRESENT USE? 13 unit multi-family apartments
12. WHAT IS THE PROPOSED USE? 15 unit multi-family apartments
13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: 15

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: Add two new apartments on lower level. Thirteen apartments exist today. Tax records show twelve units. Total of fifteen apartments.
15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? No
16. WERE YOU REFUSED A PERMIT? No
17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.
17.20.030 (Schedule of Uses); 17.20.090 Specific requirements;
17.92.010 (Variances) and all other applicable sections of the zoning code
18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: Extension of legal non-conforming use will add additional housing stock for single family use.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

Imperial Apartments LLC

By [Signature]
 (OWNER SIGNATURE)

580-1500
 (PHONE NUMBER)

(OWNER SIGNATURE)

(PHONE NUMBER)

Imperial Apartments LLC

By [Signature]
 (APPLICANT SIGNATURE)

580-1500
 (PHONE NUMBER)

(LESSEE SIGNATURE)

(PHONE NUMBER)

[Signature]
 (ATTORNEY SIGNATURE)

946-3800
 (PHONE NUMBER)

Robert D. Murray, Esq.

(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: 21 Garden City Drive, Cranston, RI 02920

PRE-ZONING APPLICATION MEETING:

(PLANNING DEPT. SIGNATURE)

(DATE)

IMPERIAL APARTMENTS LLC (“OWNER/APPLICANT”)

**11 Dart Street
Cranston, RI 02920**

PROJECT NARRATIVE

This project narrative is offered in connection with the application of Imperial Apartments LLC (“Owner/Applicant”) for variance relief for an existing multi-family apartment structure at 11 Dart Street.

The owner acquired the property in December, 2023. Fifteen units existed in the building at that time. Thirteen units were occupied. The tax assessor’s records state an occupancy of twelve units.

The subject property is designated as Lot Nos 1491, 1495 and 3270 on Assessor’s Plat No. 12/2 and is in an A-8 residential zone and contains approximately 28,590 square feet. The property is at the corner of Dart Street and Curry Road.

Records indicate that the building was constructed in 1972. The zoning petition seeks approval of the existing thirteenth unit and permission to construct two more units for a total of fifteen. If approved, the owner would then construct two (2) additional units on the lower level for a total of fifteen (15) residential apartments. No exterior renovations would be involved in the construction of the two additional units. Adequate off-street parking exists. The building is fully serviced with all utilities.

The following zoning relief is sought from the zoning board.

17.20.030 Schedule of Uses

Multi-family dwellings are not permitted in the A-8 residential zone

17, 20.090 – Specific Requirements, A, “For multi-family dwellings the minimum lot area shall be six thousand (6,000) square feet for the first dwelling, plus four thousand (4,000) square feet for each of the next nine dwelling units and three thousand five hundred (3,500) sq. ft. for each unit in excess of ten units. Lot Area = 28,590 sq. ft.

$28,590 \text{ sq. ft.} - 6,000 \text{ sq. ft. (1}^{\text{st}} \text{ unit)} = 22,590 \text{ sq. ft.} / 4,000 \text{ sq. ft. (subsequent units)} = 5+ \text{ units} = 6 \text{ units allowed by formula}$

Minimum Lot Area for 15 Units:

$6,000 \text{ sq. ft. (1}^{\text{st}} \text{ unit)} + (4,000 \text{ sq. ft.} \times 9 \text{ units)} + (3,500 \text{ sq. ft.} \times 5 \text{ units)} = 59,500 \text{ sq. ft.}$

Relief of 30,910 sq ft in area is sought.

Chapter 17.92.010 – Variances and Special Use Permits – B. In granting a dimensional variance, the Planning Commission shall find:

1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant.

The hardship from which the Applicant seeks relief is due to the unique characteristics of the subject land or structure and not the general characteristics of the surrounding area; nor is it due to the physical or economic disability of the applicant. The existing building already houses thirteen apartments and can easily accommodate the proposed two (2) units. The project helps address a significant need for housing throughout the City and State; while the proposed use and density will exist and will continue to complement the surrounding area.

2. That the hardship is not the result of any prior action of the applicant.

The hardship for which relief is sought is not the result of any prior action of the Applicant. The Applicant purchased the property in 2023 and has made no changes or modifications to the property since the purchase.

3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance codified in this title or the comprehensive plan upon which the ordinance is based.

The granting of the requested variance will not alter the general character of the surrounding area as both the existing use and the proposed use of the site are a multi-family development. The existing and proposed use and unit density helps address a significant need for housing throughout the City and State; multi-family use already exists.

In addition to the above standards, a determination must be made that:

1. In granting a use variance, the subject land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance.

The proposed use and unit density can be accommodated on the existing lot, including all required infrastructure including but not limited to water, sewer and stormwater management. Adequate parking is available for the apartments.





Hills
IMPERIALE

SECURITY NOTICE
Please do not post or place any signs or notices on this building without the approval of the property manager.

STOP



 Villa
IMPERIALE

NO PARKING
IN FRONT OF
BUILDING

IMPERIALE





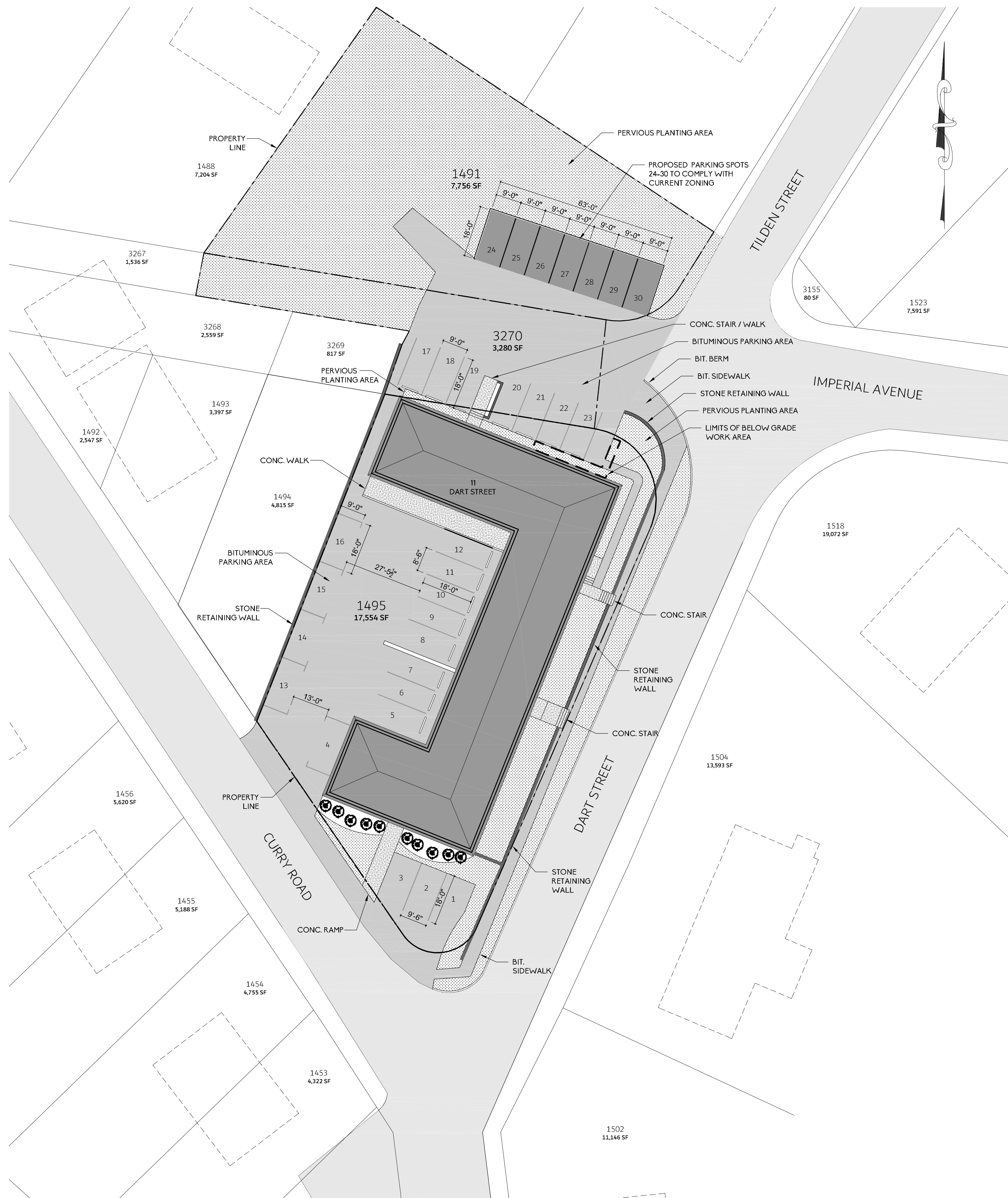


NOT
A
PUBLIC
HIGHWAY

STOP

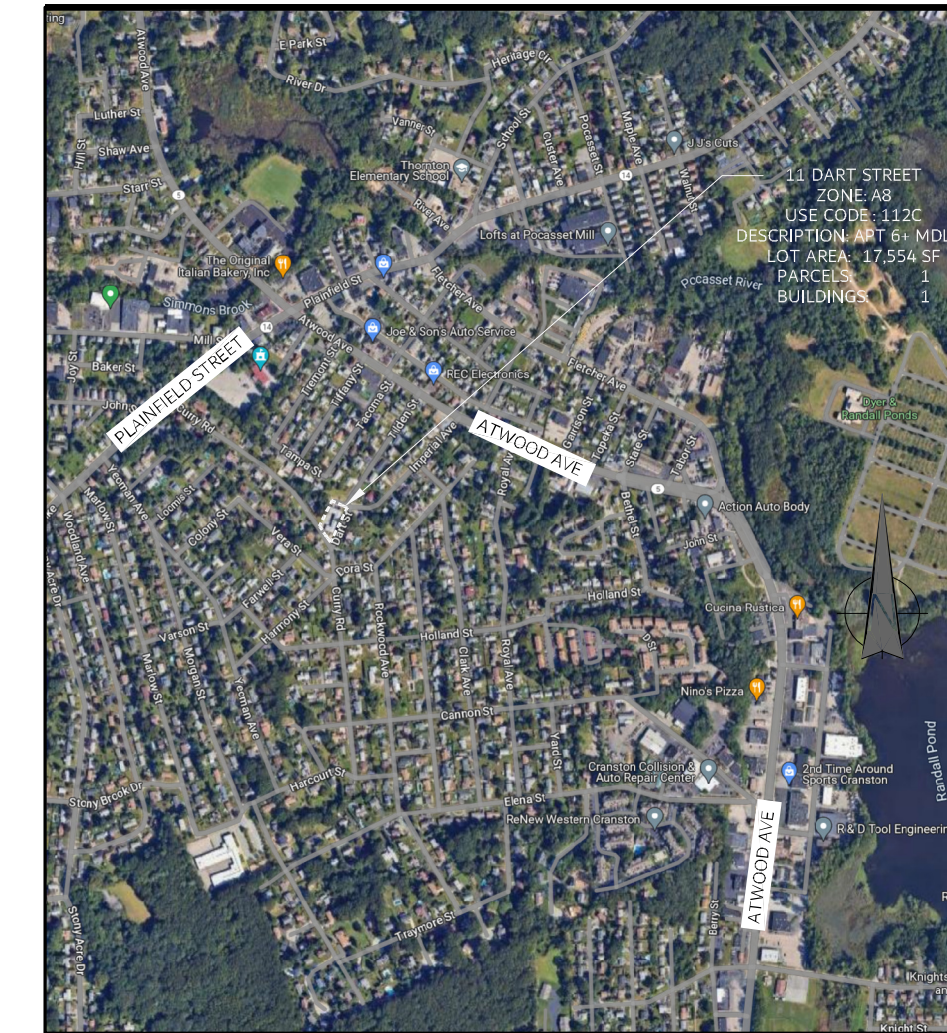
ALL WAY





1 EXISTING CONDITIONS SITE PLAN
SCALE: 1" = 20'-0"

LOCUS:



SITE NOTES:

BELOW GRADE WORK PLANNED UNDER THIS CONTRACT IS LIMITED TO THE AREA OF WORK AS NOTED

- EXISTING CONDITIONS HAVE BEEN DEPICTED BASED UPON FIELD OBSERVATION & PUBLIC RECORD DOCUMENTS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, TYPES, & SIZES OF UTILITIES PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES FROM ANY OF HIS OPERATIONS.
- CONTRACTOR SHALL NOTIFY DIG-SAFE IN RHODE ISLAND AT LEAST 5 BUSINESS DAYS PRIOR TO ANY SCHEDULED EXCAVATION.
- EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING EXTERIOR DEMOLITION WORK. ALL EROSION & SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CRANSTON REGULATIONS. ALL ERS MEASURES ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL CLEARING MATERIAL, DEMOLITION & CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. THIS MATERIAL SHALL BE PROPERLY DISPOSED OF OFF SITE. COSTS FOR THE SAME SHALL BE INCLUDED AS BASE CONTRACT WORK. NO ADDITIONAL COSTS TO THE OWNER FOR DISPOSAL WILL BE ENTERTAINED WITH THE EXCEPTION OF HAZARDOUS MATERIALS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION TO MEET THE DEFINITION OF "HAZARDOUS". THE STATE OF MA MUST DELINEATE IT AS SUCH & REGULATE ITS DISPOSAL (IE: ASBESTOS CONTAINING MATERIALS, UNDERGROUND STORAGE TANKS, CONTAMINATED SOILS, ETC)
- EXISTING TOPSOIL SHALL BE REMOVED & STOCKPILED ON-SITE IN A LOCATION SPECIFIED BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING & COORDINATING WITH THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS PRIOR TO CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL TAKE CARE TO PROTECT EXISTING PAVEMENTS.
- THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND CONNECTIONS WITHIN 5'-0" OF THE BUILDING PERIMETER.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TIE-INS TO UTILITIES INSTALLED BY THE PLUMBING CONTRACTOR.
- LOAM & SEED ALL DISTURBED GRASS AREAS WITH 6" LOAM & SEED MIX. SEED MIX SHALL BE 45% KENTUCKY BLUE / 45% CREEPING RED FESCUE / 10% PERENNIAL RYE GRASS. SEED TO BE APPLIED AT A RATE OF 4 # / 1,000 SF. PLANTING SEASON SHALL BE APRIL 1 - OCTOBER 15.

PROPERTY DATA:

STREET ADDRESS:	11 DART STREET CRANSTON, RI 02920
PROPERTY OWNER:	IMPERIAL APARTMENTS, LLC 1704 BROAD STREET CRANSTON, RI 02905
PARCELS:	
12 / 2 / 1495	USE CODE 112C DESCRIPTION APT 6+ MDL94 ZONE A8 NEIGHBORHOOD ALT LAND APPR NO SIZE (SQR FEET) 17554
12 / 2 / 3270	USE CODE 1320 DESCRIPTION RES LD UND ZONE A6 NEIGHBORHOOD 0050 ALT LAND APPR NO SIZE (SQR FEET) 3280
12 / 2 / 1491	USE CODE 1310 DESCRIPTION RES LD POT ZONE A6 NEIGHBORHOOD 0050 ALT LAND APPR NO SIZE (SQR FEET) 7756

PLAN NOTE:

- THIS SITE DOCUMENTATION IS DIAGRAMMATIC, IS NOT EXHAUSTIVE, AND DOES NOT INTEND TO SHOW EVERY DETAIL AND FEATURE OF THE EXISTING PROPERTY. PROPERTY DATA DEPICTED IS TAKEN FROM MUNICIPAL PUBLIC RECORDS & FIELD OBSERVATIONS. NO SURVEY HAS BEEN UNDERTAKEN AS PART OF THIS PROJECT.



J MOON BUILDING
DESIGN CONSULTANTS
401.632.7090 jmoonbdc@gmail.com

ARCHITECT OF RECORD:

ENGINEER OF RECORD:

PROJECT:

VILLA IMPERIALE

PROPERTY ADDRESS:

11 DART STREET
CRANSTON, RI 02920

PROPERTY OWNER:

IMPERIAL APARTMENTS, LLC
1704 BROAD STREET CRANSTON, RI
02905

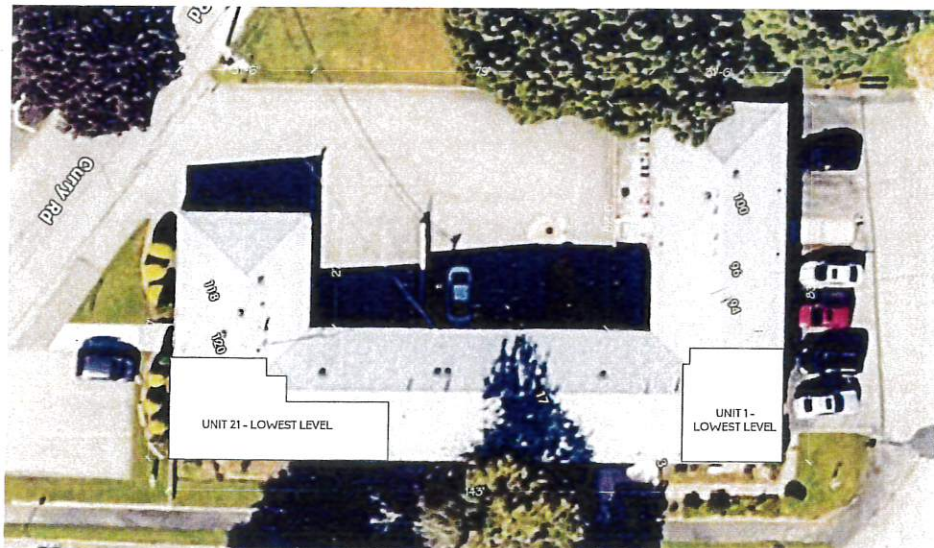
SHEET TITLE:

SITE PLAN

A0.2

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DESIGN/BUILD ALL NECESSARY ELECTRICAL, MECHANICAL, PLUMBING & FIRE PROTECTION / NOTIFICATION PORTIONS OF THIS PROJECT. INFORMATION ILLUSTRATED OR NOTED WITHIN THIS DOCUMENT SET SERVES TO SHOW INTENT ONLY. WHERE REQUIRED BY THE BUILDING DEPARTMENT, THE CONTRACTOR SHALL ENLIST THE SERVICES OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS TO PERFORM THE REQUIRED SCOPE OF WORK. THE CONTRACTOR AND HIS ASSIGNS ARE FURTHER RESPONSIBLE THROUGH THEIR DESIGN TO ENSURE COMPREHENSIVENESS & COMPLIANCE WITH ALL APPLICABLE LAWS, CODES, ORDINANCE & DIRECTIVES WHETHER FEDERAL, STATE OR LOCAL AS RELATING TO THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION & FIRE NOTIFICATION PORTIONS OF THIS PROJECT ARE TO BE CARRIED BY THE CONTRACTOR AT THE TIME OF BID EITHER AS ALLOWANCES OR THROUGH SUBCONTRACTOR PROPOSALS AND SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S BASE BID.
2. THE DRAWINGS MAY DEPICT A LAYOUT OF ELECTRICAL SYSTEMS AND EQUIPMENT IN APPROXIMATE LOCATIONS, BUT THESE ARE SCHEMATIC DEPICTIONS ONLY. THE EXACT LOCATION OF EQUIPMENT OR THE ROUTING OF RACEWAYS SHALL BE DETERMINED BY THE STRUCTURAL CONDITIONS AND OTHER OBSTRUCTIONS ON THE JOB. IT IS REQUIRED THAT THE ELECTRICAL INSTALLATION BE COMPLETE WITH ALL LABOR, MATERIALS AND COORDINATION REQUIRED. THIS SHALL INCLUDE BUT IS NOT LIMITED TO, SUPPORTS, CABLE, LUGS, CONNECTORS, COVERS, FRAMES, OVER CURRENT PROTECTION, SIGNS, INSTRUCTIONS AND ALL INCIDENTAL DEVICES AND ACCESSORIES REQUIRED FOR A COMPLETE AND READY TO OPERATE SYSTEM. ALL SAFETY DEVICES SUCH AS SHUNT TRIPS, OVER-CURRENT DEVICE, TRANSFORMERS, SIGNS AND INSTRUCTIONS SHALL BE PART OF THIS CONTRACT.
3. WHERE THE DOCUMENTS CALL FOR EQUIPMENT TO BE LOCATED IN THE FIELD OR ON THE JOB, AND/ OR THE CONTRACT DOCUMENTS DO NOT SHOW THE LOCATION OF EQUIPMENT SPECIFIED, IT SHALL BE UNDERSTOOD THAT THE EXACT LOCATION SHALL BE DETERMINED ON THE JOB BY THE OWNER / OWNER'S REP. & G.C.
4. THE DRAWINGS MAY SHOW THE LOCATION OF ELECTRICAL EQUIPMENT OR DEVICES LIKE DISCONNECT SWITCHES, MOTOR STARTERS AND SIMILAR EQUIPMENT THROUGHOUT THE DRAWINGS ALONG WITH A LAYOUT OF ELECTRICAL ROOMS AND MECHANICAL ROOMS WITH ELECTRICAL EQUIPMENT. THESE LOCATIONS ARE SCHEMATIC ONLY. THE EXACT LOCATION OF THE ELECTRICAL EQUIPMENT SHALL BE DETERMINED ON THE JOB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND FINAL LOCATIONS OF THIS EQUIPMENT TO AVOID POSSIBLE CONFLICTS AND TO MAKE ACCESSIBLE ALL EQUIPMENT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SPACE REQUIREMENTS SET FORTH IN THE NATIONAL ELECTRICAL CODE.
5. WIRING FOR BRANCH CIRCUITS ABOVE HUNG CEILINGS (CONCEALED), IN THE WALLS AND PARTITIONS SHALL BE METAL-CLAD TYPE MC CABLE AS DEFINED BY THE NATIONAL ELECTRICAL CODE. ALL EXPOSED WIRING TO BE IN EMT OR RIGID CONDUIT. METAL-CLAD CABLE SHALL NOT BE RUN EXPOSED. ALL CONDUCTORS IN MC SHALL BE COPPER THHN. MC CABLE SHALL HAVE AN INSULATED GREEN GROUND WIRE. MC CABLE SHALL BE INSTALLED PER NEC ARTICLE 334-10. ALL CONDUCTORS SHALL BE A MINIMUM SIZE OF NUMBER 12 AWG. ALL CONDUIT SIZES UNLESS SHOWN ON DRAWINGS SHALL ADHERE TO THE NEC CODE.
6. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. IF A PARTICULAR ITEM IS CALLED FOR OR SPECIFIED MORE THAN ONCE IN THESE CONTRACT DOCUMENTS, THE HIGHER GRADE SHALL BE CONSIDERED SPECIFIED.
7. WHEN DIMENSIONS ARE GIVEN ON THE DRAWINGS, THEY ARE APPROXIMATE ONLY. THESE DRAWINGS ARE GIVEN FOR THE CONVENIENCE OF THE BIDDERS. THE EXACT LENGTH MUST BE DETERMINED ON THE JOB BY THE BIDDER. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ANY DISCREPANCIES BETWEEN THE ACTUAL MEASUREMENTS AND THOSE INDICATED ON THE DRAWINGS.
8. THE LOCATION OF LIGHTING FIXTURES, SWITCHES, MECHANICAL UNITS, EMERGENCY FIXTURES SHOWN ON ELECTRICAL PLANS ARE APPROXIMATE. THE EXACT LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR & OWNER & / OR THE OWNER'S REP.
9. WHERE SHOP DRAWING REVIEW IS UNDERTAKEN BY THE OWNER'S REP., SUCH REVIEW DOES NOT APPLY TO QUANTITIES, NOR RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR FURNISHING MATERIALS OR PERFORMING THE WORK IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS. A POSITIVE REVIEW OF SHOP DRAWINGS SHALL NOT BE CONSIDERED GUARANTEE OF THE MEASUREMENTS OF THIS BUILDING OR THE CONDITIONS TO BE ENCOUNTERED AND SHALL ONLY BE CONSIDERED AS A GENERAL APPROVAL OF ALIGNMENT WITH DESIGN INTENT.
10. ALL ELECTRICAL BOXES SHALL HAVE COVERS. IF A BOX DOES NOT CONTAIN A DEVICE, A BLANK DEVICE PLATE SHALL BE PROVIDED. NO BOX WITH OR WITHOUT WIRES AND/ OR A DEVICE SHALL BE LEFT WITHOUT A COVER.
11. SUBMIT ALL EQUIPMENT AND MATERIAL TO OWNER AND / OR THE OWNER'S REP. FOR ACCEPTANCE FAILURE TO SECURE ACCEPTANCE OF EQUIPMENT AND MATERIAL PRIOR TO INSTALLATION WILL NOT RELIEVE THIS CONTRACTOR FROM THE RESPONSIBILITY OF REMOVAL AND INSTALLATION OF SPECIFIED WORK AT THE CONTRACTOR'S EXPENSE.
12. OBTAIN AND PAY FOR ALL STATE AND LOCAL PERMITS FOR ALL WORK BY THIS CONTRACTOR.
13. PROVIDE TO OWNER A ONE-YEAR FULL PARTS AND LABOR WARRANTY ON ALL EQUIPMENT AND MATERIAL. WARRANTY PERIOD TO BEGIN ON THE DATE OF CERTIFICATE OF OCCUPANCY ISSUE, NOT ON THE DATE OF PRODUCT INSTALLATION. WHERE EQUIPMENT START-UP OCCURS PRIOR TO C. OF O., SPECIAL WRITTEN DISPENSATION CAN BE PROVIDED BY THE OWNER TO ALLOW THE WARRANTY PERIOD TO BEGIN EARLY.
14. SUBMIT TO OWNER O & M MANUALS (ELECTRONIC FORM ON USB MEDIA) ON ALL INSTALLED EQUIPMENT BY THIS CONTRACTOR.
15. TV/MONITOR DATA WIRING TO BE CAT 6 CABLE & HDMI WIRING NOT SHOWN - DMARC UNKNOWN
16. DATA TO BE CAT6. WIRING NOT SHOWN - DMARC UNKNOWN - CARRY 1 RUN FROM OFFICE 112 TO EACH DATA LOCATION SHOWN.
17. THIS CONTRACTOR IS REQUIRED TO VISIT THE SITE BEFORE SUBMITTING A BID TO OBSERVE EXISTING CONDITIONS. SHOULD ANY EXISTING CONDITION BE DIFFERENT FROM THAT WHICH IS ON THE DRAWINGS WHICH DOES NOT ALLOW THIS CONTRACTOR TO PERFORM THE WORK SHOWN THIS MUST BE BROUGHT TO THE OWNER'S REP.'S ATTENTION BEFORE BID SUBMITTAL. THIS MUST BE DONE IN WRITING. NO VERBAL ACKNOWLEDGMENTS WILL BE ALLOWED.
18. ALL DEMOLISHED EQUIPMENT, WIRE, MATERIAL, LIGHTS, SWITCHES, CONDUIT, MC CABLE ETC. TO BE REMOVED AND DISPOSED OF PROPERLY OFF SITE.
19. ALL REUSED WIRE CONDUIT, JUNCTION BOXES, BOXES, SWITCHES, MC CABLE MUST BE APPROVED IN WRITING BY THE OWNER & / OR OWNER'S REP. PRIOR TO REUSE.
20. REMOVE AND DISPOSE OF OFF SITE ALL EXISTING LIGHT FIXTURES, WIRE, CONDUIT, ETC. THAT ARE NOT INCLUDED IN THE PROPOSED WORK OF THIS PROJECT. CONDUIT RE-USE IS ACCEPTABLE ONLY FOLLOWING WRITTEN APPROVAL OF OWNER'S REP OR OWNER'S REP.
21. WHERE ELECTRIC UNIT HEATERS ARE TO BE UTILIZED, APPROPRIATELY SIZE & SELECT UNITS BASED UPON BUILDING SPECIFICATIONS, SPACE VOLUMES, INTENT OF USE, AND THERMAL INSULATION QUALITIES OF THE SPACES. PROVIDE ALL NECESSARY ENGINEERING, CEILING BOXES, MOUNTING HARDWARE, WIRING, UNIT MOUNTED & WALL MOUNTED THERMOSTATS, DISCONNECTS, THERMAL RELAY, AND TRIM KITS. BASIS OF DESIGN: TRANE MODEL UHCA 041B8A, 041C8A OR 043A8A
22. WHERE SPLIT SYSTEM A/C UNITS ARE TO BE UTILIZED, APPROPRIATELY SIZE & SELECT UNITS BASED UPON BUILDING SPECIFICATIONS, SPACE VOLUMES, INTENT OF USE, AND THERMAL INSULATION QUALITIES OF THE SPACES. CONDENSERS TO BE ROOF OR WALL MOUNTED ON EXTERIOR OR IN MECHANICAL SPACES WHERE SUITABLE AIR EXCHANGE CONDITIONS ARE IMPLEMENTED. WALL OR CEILING UNITS TO BE LOCATED ON-SITE LOCATIONS OF ALL EQUIPMENT TO BE APPROVED BY THE OWNER / OWNER'S REP. PRIOR TO INSTALLATION.

KEY PLAN



SCALE: 1" = 20'-0"

DEMOLITION NOTES

- PROVIDE ALL LABOR AND MATERIALS TO COMPLETE ALL REMOVALS & DEMOLITION OF ALL ITEMS AS INDICATED AND/OR NOTED ON THE DRAWINGS.
- ALL WORK SHALL CONFORM TO LOCAL BUILDING CODE REQUIREMENTS FOR DEMOLITION AND MAKE SAFE.
- THE AREAS OF CHANGE AND GENERAL SCOPE OF WORK IS INDICATED BY THE DRAWINGS. IT IS IMPRACTICAL TO EFFECTIVELY INDICATE ALL ITEMS THAT CONSTITUTE EXISTING CONDITIONS TO BE REMOVED OR ALTERED THROUGH DASHED LINES AND NOTES. THE G.C. IS THEREFORE REQUESTED TO FAMILIARIZE THEMSELVES WITH THE ON-SITE CONDITIONS IN THE AREAS OF CHANGE INDICATED ON THE DRAWINGS. IT IS ASSUMED BY THE OWNER'S REP. AND OWNER THAT THE SUBMISSION OF A BID FOR THE WORK INDICATES THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS AND OF THE SCOPE OF WORK. REQUIRED TO FURNISH AND INSTALL THE PROPOSED WORK.
- ALL REMOVED ITEMS SHALL BE TRANSPORTED AND DISPOSED OF LEGALLY.
- PROVIDE REMOVAL OR RELOCATION OF ELECTRICAL AND DATA ITEMS EXISTING IN WALLS TO BE DEMOLISHED. THESE ITEMS ARE TO INCLUDE WIRING, CONDUIT, RACEWAYS, SWITCH BOXES, RECEPTACLES, SWITCHES. DEMO OPERATIONS SHALL AT A MINIMUM, MAKE SAFE THESE CONDITIONS BACK TO EXISTING TO REMAINING CONSTRUCTION.
- REMOVE ALL LINE AND LOW VOLTAGE WIRING IN AREAS OF CHANGE NOT INTENDED FOR REUSE BACK TO SOURCE.
- LIGHT FIXTURES IN THE AREA OF DEMOLITION THAT ARE NOT INDICATED TO BE REUSED ARE TO BE CAREFULLY REMOVED, STORED AND PROVIDED TO THE OWNER.
- WHERE ONLY A PORTION OF AN EXISTING PARTITION IS TO BE REMOVED, G.C. TO TAKE CARE TO REMOVE ANY WALL BASE ALONG THE ENTIRE STRETCH OF WALL TO THE NEXT INSIDE OR OUTSIDE CORNER. PATCH EXISTING TO REMAIN WALL FINISH EFFECTED BY DEMO OPERATIONS.
- WHERE FINISHES HAVE BEEN PARTIALLY REMOVED DURING DEMO OPERATIONS, ANY EDGE TO REMAIN SHALL BE PROTECTED TO PREVENT DAMAGE.
- ALL VOICE, DATA, SECURITY, FIRE AND SMOKE WIRES, DEVICES AND APPURTENANCES TO REMAIN TO BE SECURED TO THE UNDERSIDE OF THE DECK OR STRUCTURE ABOVE TO PROTECT FROM DAMAGE.
- TEMPORARY LIGHTING SHALL BE PROVIDED BY THE CONTRACTOR.
- FLUSH AND CAP ALL PLUMBING TO BE ABANDONED. CUT AND CAP TO BE BEHIND FINISH PLANES. PROVIDE ACCESS PANELS WHERE REQUIRED BY CODE.
- WHERE MECHANICAL ITEMS REQUIRE REMOVAL OR RELOCATION TO ACCOMMODATE THE WORK, THE EXISTING SYSTEM SHALL BE INVESTIGATED BY THE CONTRACTOR TO ENSURE MODIFIED RUNS AND SIZING ARE WITHIN ACCEPTABLE LIMITS. REPORT ANY POTENTIAL CONFLICTS OR QUESTIONABLE CONDITIONS TO THE OWNER'S REP. PRIOR TO DEMOLITION / CONSTRUCTION ACTIVITIES AFFECTING THAT ITEM.
- WHERE EXISTING TO REMAIN WALLS, CEILINGS OR FLOORS ARE DISTURBED BY DEMOLITION OR CONSTRUCTION OPERATIONS, PATCH AND MATCH EXISTING TO REMAIN FINISHES TO ORIGINAL CONDITION. WHERE REPAINTING IS REQUIRED, PAINTING SHALL BE FLOOR TO CEILING, CORNER TO CORNER.
- NO TESTING OR INVESTIGATION FOR HAZARDOUS MATERIALS HAS BEEN UNDERTAKEN. ANY POTENTIALLY HAZARDOUS OR HARMFUL (ACM, ECT.) SUBSTANCES ENCOUNTERED DURING DEMOLITION OPERATIONS SHALL BE LEFT UNDISTURBED AND THE OWNER'S REP. IS TO BE NOTIFIED IMMEDIATELY.
- PHASING OF THE WORK IS NOT DEPICTED HEREIN. SUBCONTRACTORS ARE TO COORDINATE WITH G.C. FOR PHASING SCHEDULES AND PHASED SCOPES OF WORK.

NEW WORK NOTES

- WHERE AN EXISTING TO REMAIN PARTITION OR INTERIOR FACE OF EXTERIOR WALL IS CALLED OUT TO RECEIVE NEW GWB IN A ROOM WITH ACT, THE NEW GWB SHALL EXTEND FROM THE FINISH FLOOR TO 1/2 AFF. REPLACEMENT OF GWB MORE THAN 12" ABOVE THE FINISH FLOOR IS NOT WITHIN THE SCOPE OF THE WORK.
- ALL NEW GWB TO BE 1/2" UNLESS EXISTING INTERFERENCE CONDITIONS (ETR, DOOR FRAMES, WINDOW FRAMES, ETC.) NECESSITATE SUBSTITUTION. IF A SIMILAR CONDITION IS DISCOVERED, BRING IT TO THE OWNER'S REP.'S ATTENTION FOR REVIEW PRIOR TO PLACING WORK.
- ALL FLOORING TO BE FLUSH TO ADJACENT FLOORING MATERIALS. WHERE DIFFERING MATERIAL THICKNESSES AND/OR EXISTING SUBSURFACE CONDITIONS PREVENT THIS, CONDITION APPROPRIATE & ADA COMPLIANT REDUCERS & TRANSITION STRIPS ARE TO BE INCORPORATED INTO THE WORK.
- WHERE EXISTING TO REMAIN WALLS, CEILINGS OR FLOORS ARE DISTURBED BY DEMOLITION OR CONSTRUCTION OPERATIONS, PATCH AND MATCH EXISTING TO REMAIN FINISHES TO ORIGINAL CONDITION. WHERE REPAINTING IS REQUIRED, PAINTING SHALL BE FLOOR TO CEILING, CORNER TO CORNER.
- EXTERIOR STOREFRONT IS EXISTING TO REMAIN - HOWEVER THE SYSTEM SHALL BE INSPECTED AND REPAIRED / ALTERED AS NOTED.
- ALL NEW PARTITIONS ARE TO BE BRACED TO STRUCTURE. BRACING SHALL NOT BE VISIBLE ONCE FINISHES ARE INSTALLED. WHERE THERE IS INTERSTITIAL SPACE BETWEEN THE NEW CEILING PLANES AND THE FACE OF THE FRAMING SYSTEM, INSTALL SOLID BLOCKING AT ATTACHMENT POINTS.
- THE FLOORING FINISH SCOPE OF WORK IS NOT DELINEATED HEREIN. COORDINATE WITH THE OWNER / OWNER'S REP. FOR SCOPE.
- ANY MECHANICAL SYSTEM OR COMPONENT SHOWN HERE IS SCHEMATIC IN NATURE AND IS PROVIDED SOLELY TO DEPICT DESIGN INTENT. THE CONTRACTOR SHALL ENGAGE A RHODE ISLAND LICENSED MECHANICAL CONTRACTOR AND/OR PROFESSIONAL ENGINEER TO DETERMINE THE SUITABILITY OF THE EXISTING MECHANICAL SYSTEM TO THE PROPOSED LAYOUT OF SPACES PRIOR TO THE PLACEMENT OF NEW WORK. IF THE EXISTING SYSTEM IS FOUND TO BE UNSUITABLE FOR THE PROPOSED LAYOUT, NOTIFY THE OWNER'S REP. IMMEDIATELY IN WRITING BY EMAIL.
- WHERE PORTIONS OF MECHANICAL SYSTEMS REQUIRE MODIFICATION TO ACCOMMODATE THE WORK, THE EXISTING SYSTEM SHALL BE INVESTIGATED BY THE CONTRACTOR TO ENSURE MODIFIED RUNS AND SIZING ARE WITHIN ACCEPTABLE LIMITS. REPORT ANY POTENTIAL CONFLICTS OR QUESTIONABLE CONDITIONS TO THE OWNER'S REP. PRIOR TO DEMOLITION / CONSTRUCTION ACTIVITIES AFFECTING THAT ITEM.
- FIRE ALARM DEVICES & COMPONENTS ARE NOT SHOWN. THE CONTRACTOR SHALL ENGAGE A RHODE ISLAND LICENSED FIRE ALARM CONTRACTOR AND/OR PROFESSIONAL ENGINEER TO EVALUATE THE EXISTING SYSTEM & TO DESIGN/DOCUMENT THE REQUIRED FIRE ALARM MODIFICATIONS.
- THE ELECTRICAL / LIGHTING LAYOUT IS NOT DEPICTED HEREIN. THE CONTRACTOR SHALL ENGAGE A RHODE ISLAND LICENSED ELECTRICAL CONTRACTOR AND/OR PROFESSIONAL ENGINEER TO DETERMINE THE SUITABILITY OF THE EXISTING ELECTRICAL SYSTEM TO THE PROPOSED LAYOUT PRIOR TO THE PLACEMENT OF NEW WORK. IF THE EXISTING SYSTEM IS FOUND TO BE UNSUITABLE FOR THE PROPOSED LAYOUT, NOTIFY THE OWNER'S REP. IMMEDIATELY IN WRITING BY EMAIL.

LEGEND

- WALL TYPE
- WINDOW TYPE
- DEMOLITION KEY NOTE
- FURNITURE KEY NOTE
- FINISH SCHEDULE NOTE
- DOOR NUMBER
- GENERAL KEY NOTE
- DATUM
- TOTES FOR TRASH/RECYCLING SECTION TAG
- SECTION NUMBER
- SHEET NUMBER
- ROOM TAG
- ROOM NAME
- ROOM NUMBER
- DETAIL TAG
- DETAIL NUMBER
- SHEET NUMBER
- ELEVATION TAG
- ELEVATION NUMBER
- SHEET NUMBER
- INTERIOR ELEVATION TAG
- DETAIL NUMBER
- SHEET NUMBER
- ELEVATION TAG
- DISTANCE ABOVE DEFINED PLANE
- LOCATION NAME

PROJECT DIRECTORY

PROJECT ADDRESS:
11 DART STREET
CRANSTON, RI
02920

PROPERTY OWNER:
IMPERIAL APARTMENTS, LLC
1704 BROAD STREET CRANSTON, RI
CONTACT: AL D'ANDREA
TEL: (401) 580-1500
EMAIL: al@edgewoodgroup.com

PROJECT OWNER:
IMPERIAL APARTMENTS, LLC
1704 BROAD STREET CRANSTON, RI
CONTACT: AL D'ANDREA
TEL: (401) 580-1500
EMAIL: al@edgewoodgroup.com

OWNER'S REP.:
JAY MOON
J MOON BUILDING DESIGN CONSULTANTS
15 BAY VIEW AVE RIVERSIDE, RI
TEL: 401.632-7090
EMAIL: jmoonbdc@gmail.com



ARCHITECT OF RECORD:

ENGINEER OF RECORD:

ISSUE NO. 3 - 09.20.24 - REVIEW

ISSUE NO. 2 - 08.28.24 - REVIEW

ISSUE NO. 1 - 08.25.24 - REVIEW

PROJECT:

VILLA IMPERIALE

PROPERTY ADDRESS:
11 DART STREET
CRANSTON, RI 02920

PROPERTY OWNER:
IMPERIAL APARTMENTS, LLC
1704 BROAD STREET CRANSTON, RI
02905

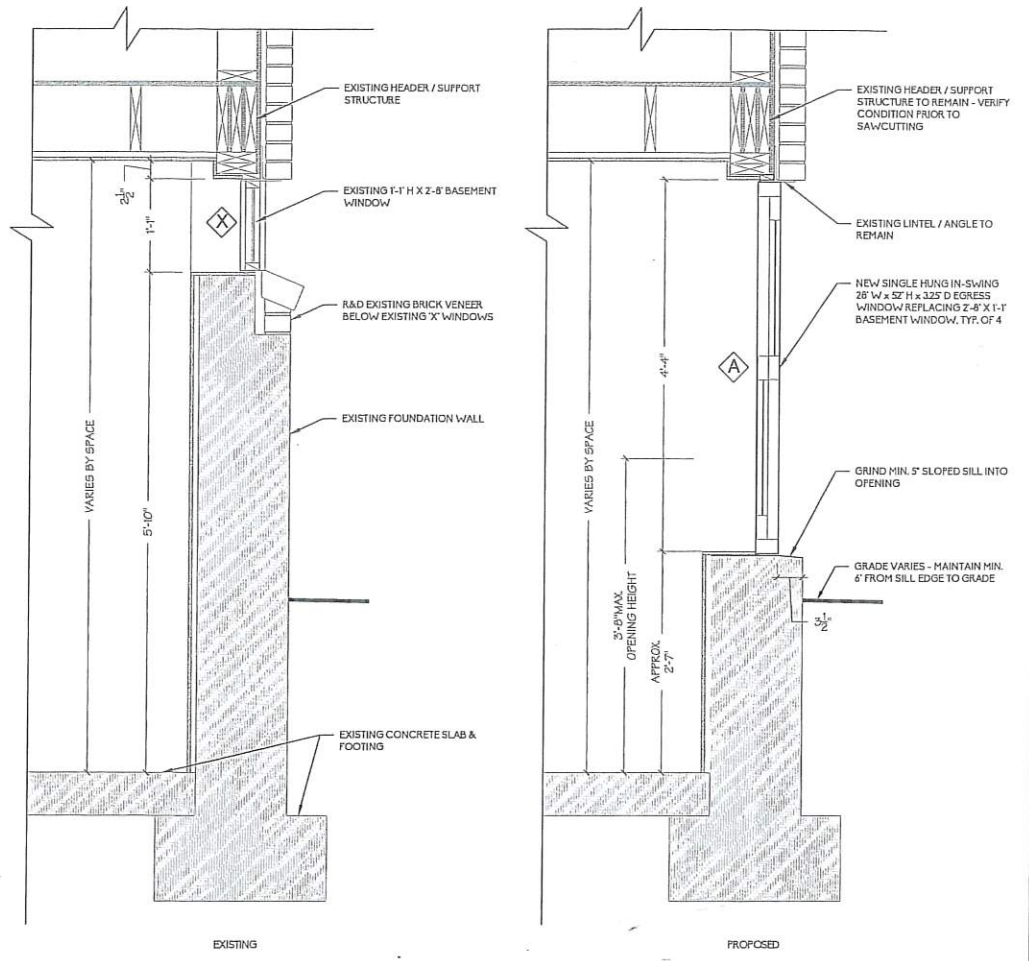
SHEET TITLE:
NOTES

A0.1

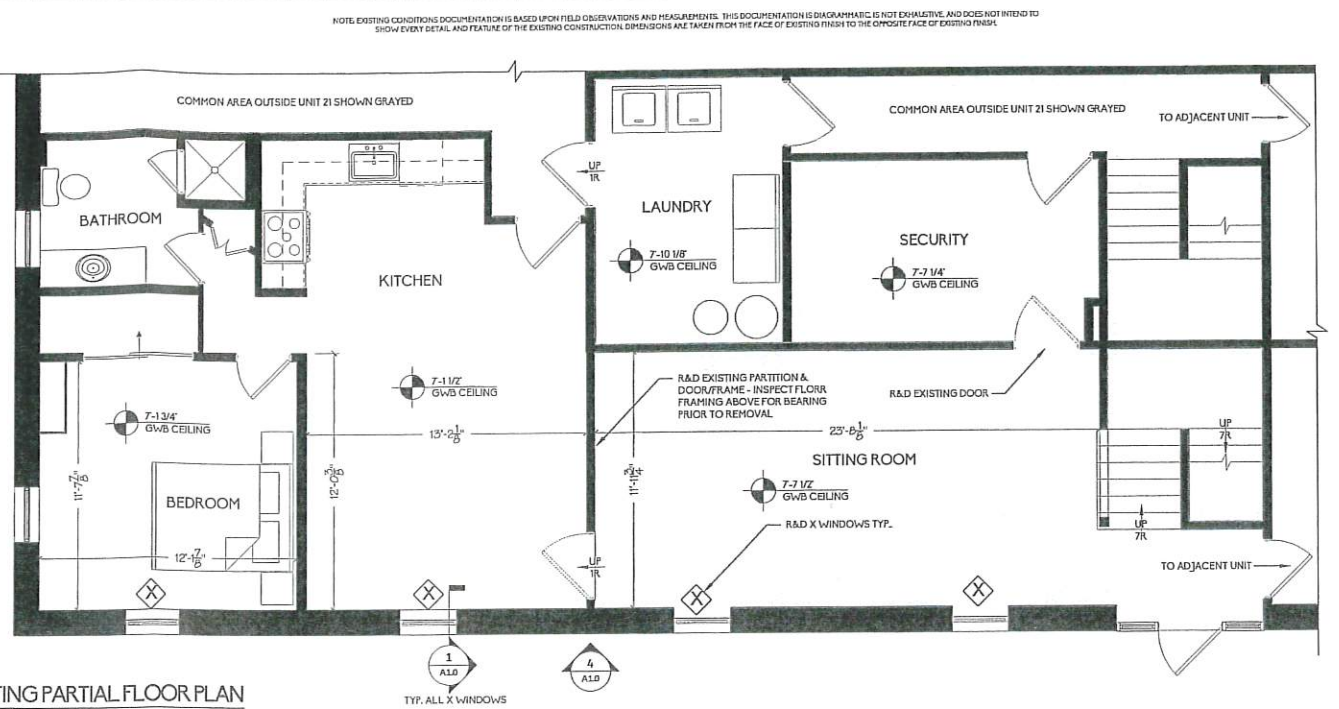
DOOR NOTES:
DOORS WITHOUT NUMBERS ARE EXISTING TO REMAIN
DOOR 01: 45 MIN. FIRE RATED, FLAT PANEL, STAINED WOOD FACTORY FINISH (SUBMIT SAMPLES)
1. KEYED ENTRY @ EXTERIOR
2. KEYED DEADBOLT
3. SINGLE RABBIT FRAME
4. 45 MIN. FIRE RATING
5. 1-1/2" PAIR STEEL BEARING BUTT HINGES
6. DOOR STOP, FLOOR OR WALL
7. FRAME SILENCERS

DOOR NOTES CONT:
DOORS 02 - 03: SOLID CORE WD, FACTORY FINISH (SUBMIT SAMPLES)
1. SINGLE RABBIT FRAMES - G.C. TO CONFIRM FRAME DEPTHS PRIOR TO ORDER
2. 1-1/2" PAIR STEEL BEARING BUTT HINGES
3. DOOR STOP, FLOOR OR WALL
4. FRAME SILENCERS
LEVER LATCHSET FUNCTIONS:
02 PRIVACY
03 PASSAGE

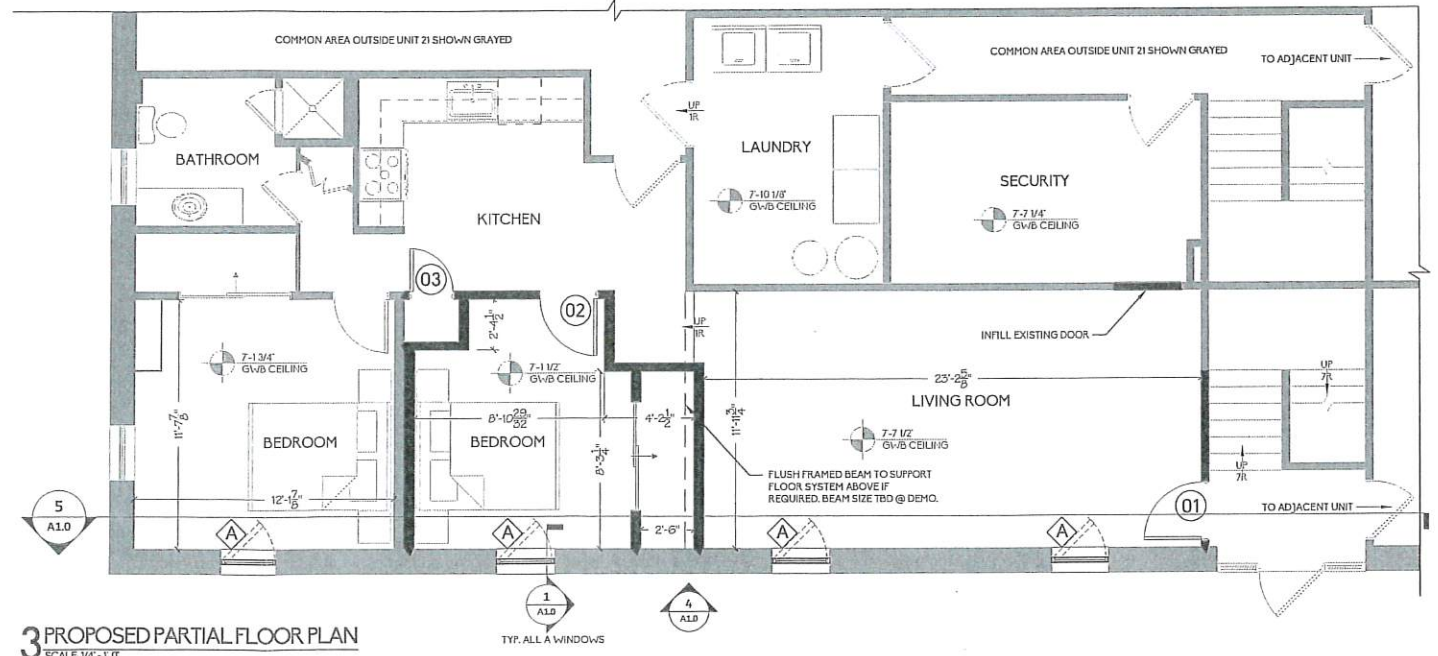
WINDOW NOTES:
WINDOW A: BASIS OF DESIGN = REDI-EXIT EGRESS SYSTEMS COMPACT SINGLE HUNG IN-SWING 28" W x 52" H x 325" D EGRESS WINDOW



1 TYP. SECTION THROUGH WINDOWS
SCALE: 1/4" = 1'-0"



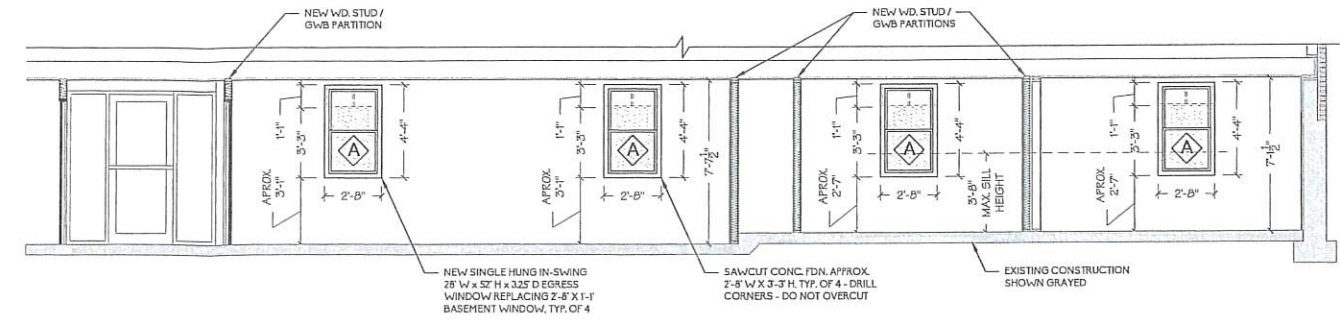
2 EXISTING PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 STREET VIEW
SCALE: NTS



5 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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ENGINEER OF RECORD

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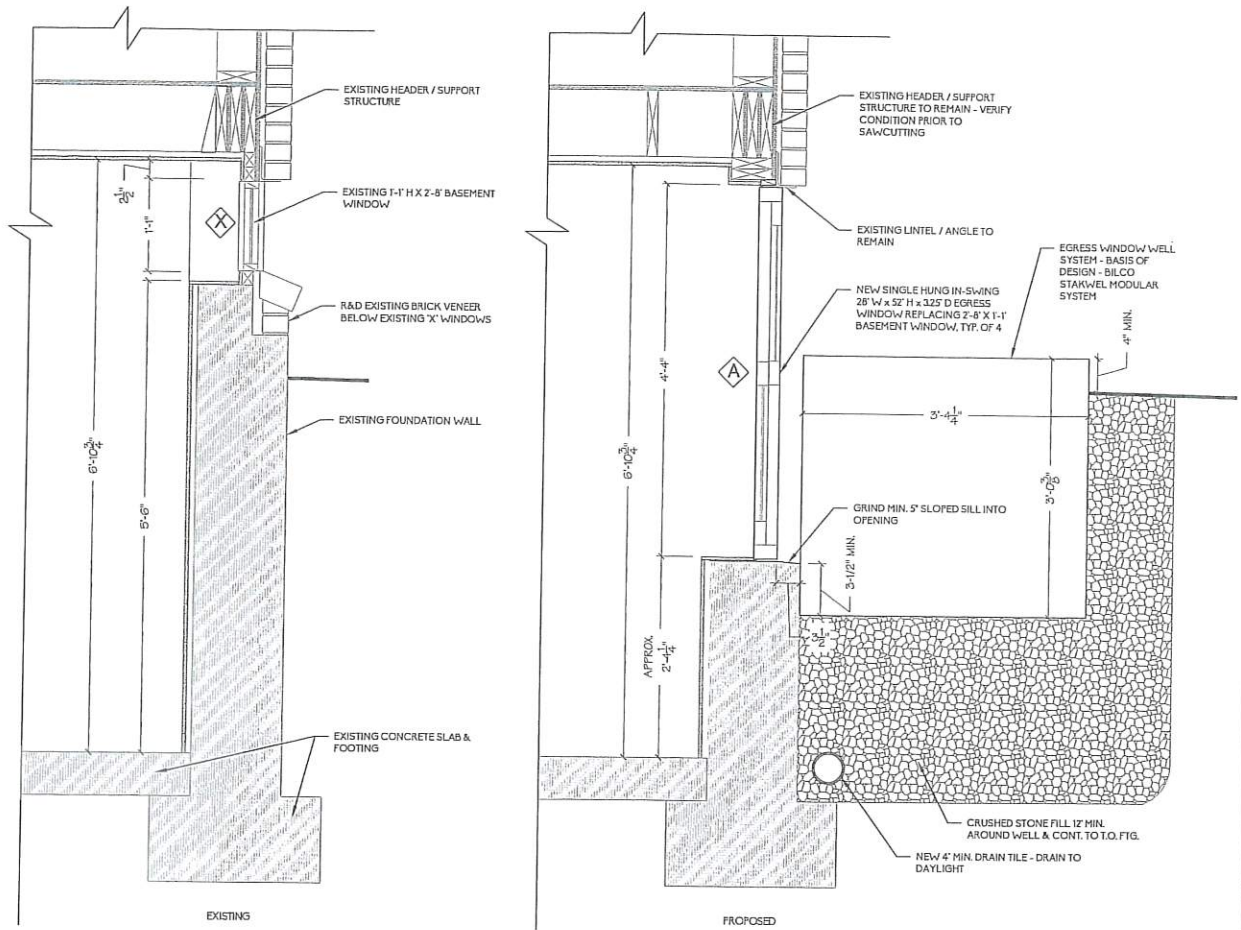
PROJECT:
VILLA IMPERIALE

PROPERTY ADDRESS:
**11 DART STREET
CRANSTON, RI 02920**

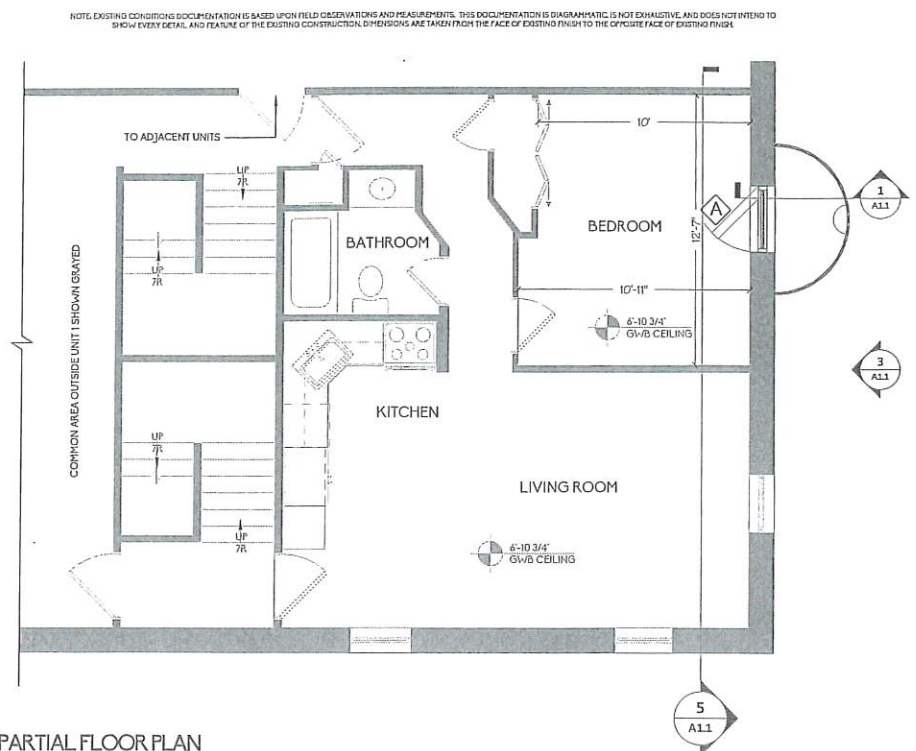
PROPERTY OWNER:
**IMPERIAL APARTMENTS, LLC
1704 BROAD STREET CRANSTON, RI
02905**

SHEET TITLE:
**UNIT 21
SCOPE SHEET**

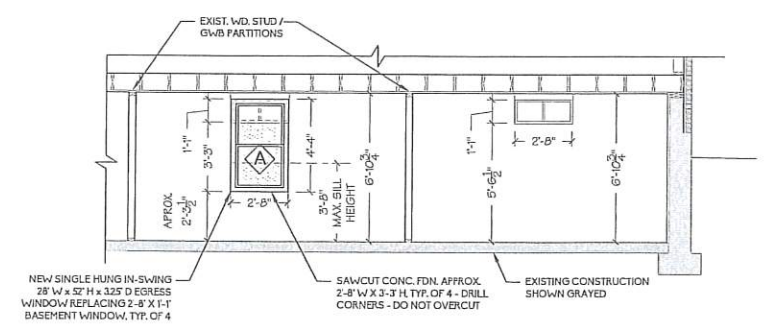
A1.0



1 TYP. SECTION THROUGH WINDOWS
SCALE: 1/4" = 1'-0"



2 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 STREET VIEW
SCALE: NIS

UNIT 1 NOTES:

1. CEILING HEIGHT: EXISTING CEILING HEIGHT DOES NOT MEET CURRENT REQUIREMENTS HOWEVER NEITHER THE EXISTING CEILING NOR THE EXISTING FLOORING IS UNDERGOING MODIFICATION. EXISTING HEIGHT OF APPROXIMATELY 6'-10" IS EXISTING TO REMAIN.
2. STRUCTURE ABOVE EXISTING WINDOW OPENINGS HAS NOT BEEN VERIFIED - CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPORT FINDINGS TO ARCHITECT PRIOR TO PROCEEDING WITH ANY MODIFICATIONS TO STRUCTURE.
3. WINDOW A BASIS OF DESIGN = REDI-EXIT EGRESS SYSTEMS COMPACT SINGLE HUNG IN-SWING 28" W x 52" H x 3/25" D EGRESS WINDOW

J. MOON BUILDING
DESIGN CONSULTANTS
401.521.1010 jmoonbd@gmail.com

ARCHITECT OF RECORD:

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PROJECT:

VILLA IMPERIALE

PROPERTY ADDRESS:

11 DART STREET
CRANSTON, RI 02920

PROPERTY OWNER:

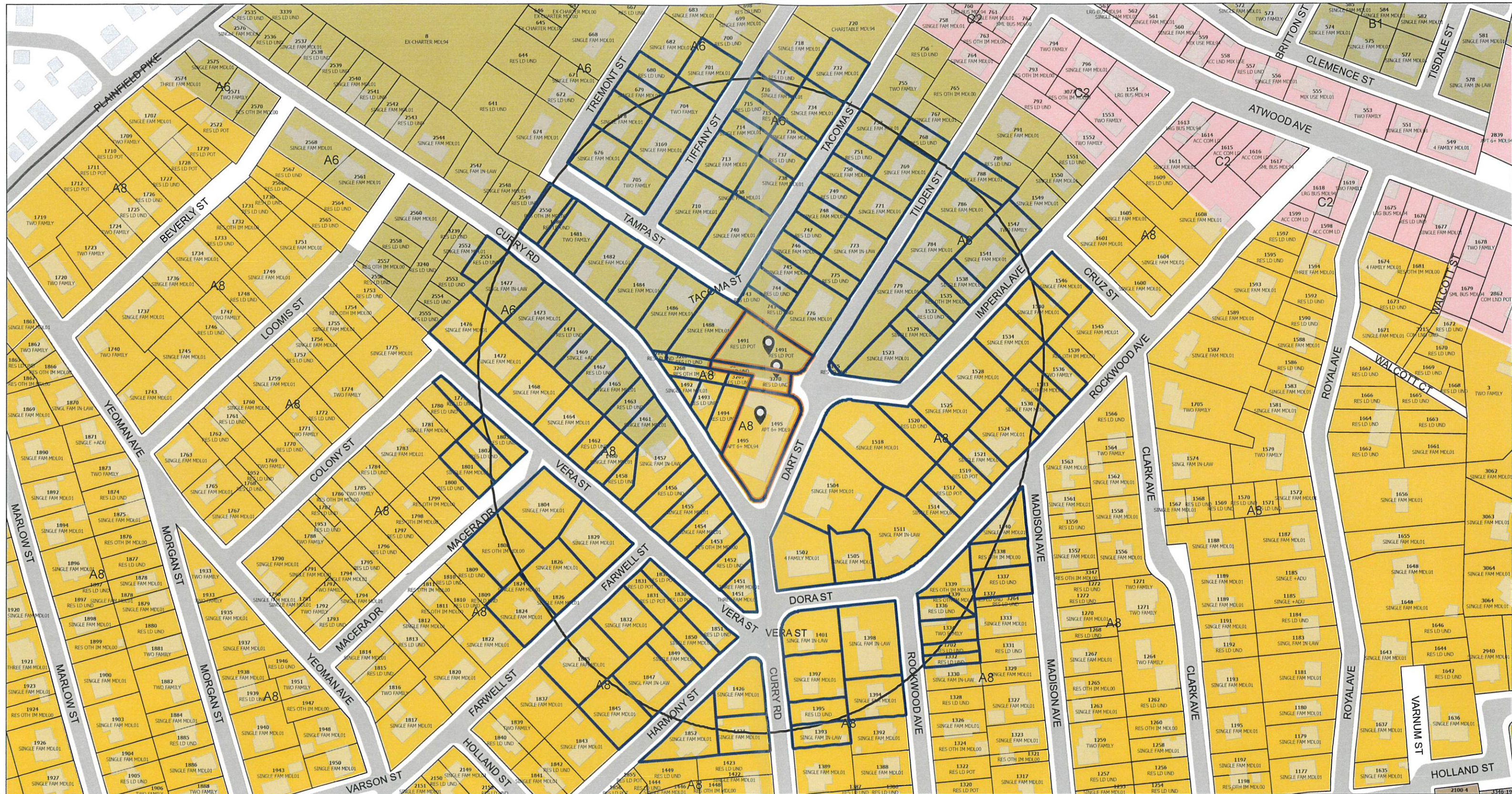
IMPERIAL APARTMENTS, LLC
1704 BROAD STREET CRANSTON, RI
02905

SHEET TITLE:

**UNIT 1
SCOPE SHEET**

A1.1

11 Dart St 400' Radius Plat 12 Lots 1491, 3270, 1495



<https://geohub-cranston.hub.arcgis.com/>

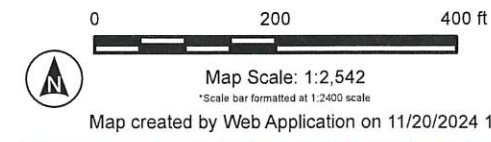
- ParcelsInBuffer
- SelectedParcelsBuffer
- SelectedParcels
- Hydro Poly 2001
- Stream/Water Body
- Swamp
- Buildings

- Cranston Boundary
- Parcels
- Cranston Boundary
- Roads
- Historic Overlay District
- Zoning A12

- A20
- A6
- A8
- A80
- B1
- B2

- C1
- C2
- C3
- C4
- C5
- E1

- M1
- M2
- MPD
- Other
- S1



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